

Grove Residence : Renovation

330 S. DIAMOND STREET
NEW ORLEANS, LA 70130

PERMIT SET



date 15 DEC 2011

revision

drawn by: mouton

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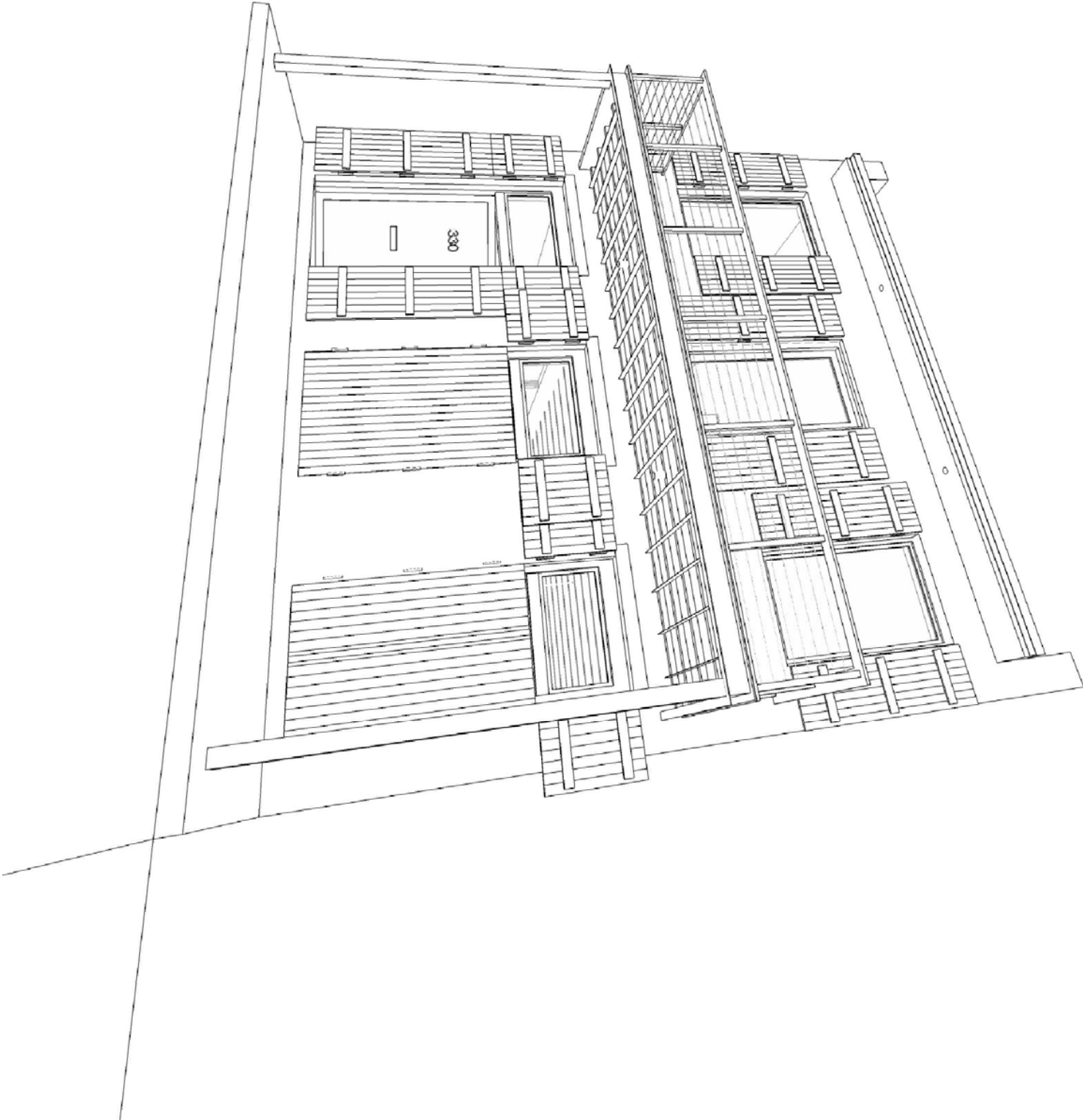
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PERMIT SET

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THESE PLANS + SPECIFICATIONS HAVE BEEN PREPARED BY ME. TO THE BEST OF MY KNOWLEDGE THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES HAVE BEEN MET. I WILL NOT CONDUCT SITE OBSERVATION DURING THE COURSE OF CONSTRUCTION.

BYRON MOUTON, ARCHITECT
REGISTRATION # 6145



06176 – METAL PLATE–CONNECTED WOOD TRUSSES

- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES EXPOSED INTERIOR ROOF TRUSSES WHICH MAY EXTEND THROUGH EXTERIOR WALLS TERMINATING IN EXTERIOR RAFTER "TAILS" AND EXPOSED TRUSSES AT ROOFS.
- 1.2 STRUCTURAL PERFORMANCE SHALL BE AS INDICATED ON STRUCTURAL DRAWINGS.
- 1.3 TRUSS FABRICATOR SHALL BE A SHOP WHICH PARTICIPATES IN A RECOGNIZED QUALITY ASSURANCE PROGRAM THAT INVOLVES THIRD-PARTY INSPECTION BY AN INDEPENDENT TESTING AND INSPECTION AGENCY ACCEPTABLE TO THE ARCHITECT AND AUTHORITIES HAVING JURISDICTION.
- 1.4 CONTRACTOR SHALL SUBMIT STRUCTURAL ENGINEERING CALCULATIONS AND DATA CONFIRMING TRUSSES MEET STRUCTURAL PERFORMANCE INDICATED ON THE DOCUMENTS.
- PART 2 – PRODUCTS
- 2.1 GRADE FOR ALL EXPOSED TRUSS MEMBERS SHALL BE SELECT STRUCTURAL SOUTHERN YELLOW PINE OR DOUGLAS FIR, OR OTHER SPECIES APPROVED BY ARCHITECT AND OWNER.
- 2.2 TRUSS MEMBERS EXPOSED TO THE EXTERIOR SHALL BE PRESSURE TREATED WITH WOOD PRESERVATIVE TREATMENT. REFER TO SECTION 06401 FOR PRESSURE TREATMENT REQUIREMENTS.
- 2.3 METAL CONNECTOR PLATES SHALL BE CONCEALED WITHIN THE TRUSS ASSEMBLY, AND SHALL BE HOT DIP GALVANIZED STEEL. TRUSS FASTENERS SHALL BE STAINLESS STEEL.
- PART 3 – EXECUTION
- 3.1 FABRICATE TRUSSES TO MEET STRUCTURAL PERFORMANCE CRITERIA INDICATED ON THE STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- 3.2 INSTALLATION: INSTALL TRUSSES PLUMB, SQUARE AND TRUE TO THE LINE AND SECURELY FASTENED TO EXISTING CONSTRUCTION. DO NOT CUT OR REMOVE TRUSS MEMBERS. REPLACE WOOD TRUSSES THAT ARE DAMAGED OR DO NOT MEET REQUIREMENTS. PROTECT TRUSSES FROM WEATHER DURING AND AFTER INSTALLATION.
- 06200 – FINISH CARPENTRY
- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES INTERIOR CARPENTRY, TYPICALLY CUSTOM–FABRICATED FROM STANDING AND RUNNING TRIM, INCLUDING WOOD BASE, CUSTOM–FABRICATED DOOR FRAMES AND CASINGS, "SLAT WALLS", PLYWOOD–AND–BATTEN CEILINGS, WOOD STAIRS, PANELING, SHELVING, AND TRIM, V–JOINT WOOD DECKING, AND WOOD FLOOR GRATING AT SHOWER FLOORS.
- 1.2 COMPLY WITH AIA "ARCHITECTURAL WOODWORK QUALITY STANDARDS" FOR GRADES OF INTERIOR WOODWORK, CONSTRUCTION, FINISHES AND OTHER QUALITY STANDARDS.
- PART 2 – PRODUCTS
- 2.1 STANDING AND RUNNING TRIM FOR TRANSPARENT FINISH: TO BE DETERMINED.
- 2.2 STANDING AND RUNNING TRIM, OPAQUE FINISH: CLEAR POPLAR TS, PONDROSA PINE C AND BETTER, DOUGLAS FIR C AND BETTER (OR APPROVED EQUAL).
- 2.3 PLYWOOD PANELING, OPAQUE FINISH: 48 PLYWOOD, 7/16" THICKNESS UNLESS NOTED OTHERWISE.
- 2.4 PLYWOOD VENEER PANELING, TRANSPARENT FINISH: CABINET GRADE, VENEER TO BE DETERMINED, TRANSPARENT FINISH: TO BE DETERMINED.
- 2.5 STAIR RISERS AND TREDS: 5/4" THICKNESS TO BE DETERMINED.
- 2.6 WOOD FLOOR GRATING AT SHOWER: TO BE DETERMINED.
- PART 3 – EXECUTION
- 3.1 WORKMANSHIP QUALITY STANDARDS: ALL ARCHITECTURAL WOODWORK SHALL COMPLY WITH THE QUALITY STANDARDS PUBLISHED BY THE AMERICAN WOODWORK INSTITUTE (AWI), CURRENT EDITION.
- 3.2 MAXIMUM MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 12% AT THE TIME OF INSTALLATION.
- 3.3 PANELING AND TRIM SHALL BE FASTENED BY BLIND NAILING THROUGH TONGUES FOR DOOR FRAMES AND GROOVE TRIM AND FACE NAILING FOR ALL OTHER PROFILES. USE CONCEALED HIDDEN NAILING MADE TO MINIMIZE BOLT JOINTS. ALIGN BOLT JOINTS AS INDICATED ON THE DRAWINGS.
- 06401 – EXTERIOR ARCHITECTURAL WOODWORK
- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES EXTERIOR WOOD RUNNING TRIM WITH PRESERVATIVE TREATMENT, INCLUDING EXPOSED WOOD FRAMING, TONGUE AND GROOVE WOOD DECKING, V–JOINT WOOD DECKING, DOOR FRAMES, COLUMNS, SCREEN FRAMES AND FIBERGLASS INSECT SCREENS, SCREEN DOORS, CUSTOM FRAMED EXTERIOR DOORS, EXTERIOR STAR COMPONENTS, AND EXTERIOR WOOD TRIM. SECTION ALSO INCLUDES UNTREATED EXTERIOR SLAT SIDING AND ADJACENT TRIM.
- 1.2 COMPLY WITH AIA "ARCHITECTURAL WOODWORK QUALITY STANDARDS" FOR GRADES OF EXTERIOR WOODWORK, CONSTRUCTION, FINISHES AND OTHER QUALITY STANDARDS.
- 1.3 SCREENS AND ADJACENT MATERIALS SHALL COMPLY WITH AWPA C2 FOR LUMBER AND AWPA C9 FOR PLYWOOD.
- PART 2 – PRODUCTS
- 2.1 LUMBER PRODUCTS: AIA GRADE 1 SOUTHERN YELLOW PINE, 15% MAXIMUM MOISTURE CONTENT, PRESSURE TREATED WITH CHEMICALS CONTAINING NO ARSENIC OR RESISTANT SPECIES.
- 2.2 EXTERIOR WINDOW AND DOOR TRIM, USE SPANISH CEDAR OR EQUIVALENT WATER RESISTANT SPECIES.
- 2.3 EXTERIOR STANDING AND RUNNING TRIM: AIA CUSTOM GRADE SOUTHERN YELLOW PINE, 15% MAXIMUM MOISTURE CONTENT, PRESSURE TREATED WITH CHEMICALS CONTAINING NO ARSENIC OR CHROMIUM.
- 2.4 WOOD SLAT SIDING: HIGHLAND CYPRESS, CUSTOM GRADE, FACE VAILED.
- 2.5 FASTENERS: ALL FASTENERS FOR PRESSURE TREATED MATERIALS SHALL BE HOT DIPPED GALVANIZED STEEL. REFER TO STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 2.6 INSECT SCREEN: FIBERGLASS.
- PART 3 – EXECUTION
- 3.1 FASTENING OF TONGUE AND GROOVE DECK MATERIALS SHALL BE BY BLIND NAILING THROUGH TONGUES. ALL OTHER LUMBER AND TRIM SHALL BE FACE NAILED. COMPLY WITH AIA STANDARDS FOR INSTALLATION PROCEDURES.
- 3.2 SAW KEEP THE BACKSIDE OF ALL LUMBER 1½" OR GREATER THICKNESS WITH A FACE SIZE OF 6" OR GREATER.
- 3.3 EXTERIOR TRIM–MINIMUM LENGTHS:
- * DOOR AND WINDOW LININGS: 1 PIECE, SINGLE LENGTH.
 - * STANDING TRIM: 15 FEET MIN. FULL STORY HEIGHT.
 - * FASCIA AND RUNNING TRIM: JOINTS NO CLOSER THAN 12 FT. APART.

05721 – ORNAMENTAL METAL

- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES, RAILING POSTS, A TUBULAR STAINLESS STEEL. 1.2 QUALITY ASSURANCE: CONTRACTOR TO ENGINEER RAILINGS TO WHITSTAD UNIFORM LATERAL LOAD OF 50 LBS. PER FT. AND CONCENTRATED LATERAL LOAD OF 200 LBS. APPLIED IN ANY DIRECTION.
- PART 2 – PRODUCTS
- 2.1 STEEL: BARS SHALL BE HOT ROLLED CARBON STEEL, COMPLYING WITH ASTM A29/A 36/A, GRADE 1010. PLATES, SHAPES AND BARS SHALL COMPLY WITH ASTM A 36/A. 39M. FASTENERS SHALL BE PLATED STEEL FASTENERS COMPLYING WITH ASTM B633.
- PART 3 – EXECUTION
- 3.1 CUT, DRILL AND PUNCH METALS CLEANLY AND ACCURATELY. LEVEL AND TRUE. REMOVE ALL SHARP OR ROUND EDGES.
- 3.2 GRIND ALL WELDS SMOOTH PRIOR TO FINISHING. ON EXPOSED SURFACES. GRIND ALL
- 06100 – ROUGH CARPENTRY
- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES CONCEALED FRAMING WITH DIMENSION LUMBER, PARTIALLY EXPOSED FRAMING, EXPOSED TIMBER FRAMING, FRAMING WITH ENGINEERED WOOD PRODUCTS, FRAMING WITH PREFABRICATED WOOD TRUSSES, WOOD BLOCKING, WOOD FURRING AND STEEPERS. REFER TO STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 1.2 LUMBER GRADING: ALL WOOD MATERIALS IN THIS SECTION SHALL BE GRADED BY ONE OF THE FOLLOWING GRADING AGENCIES:
- * SPIB: SOUTHERN PINE INSPECTION BUREAU
 - * WCLB: WEST COAST LUMBER INSPECTION BUREAU
 - * WMPA: WESTERN WOOD PRODUCTS ASSOCIATION
- PART 2 – PRODUCTS
- 2.1 CONCEALED INTERIOR FRAMING: SHALL BE #2 OR BETTER SOUTHERN YELLOW PINE OR SPRUCE, 19 PERCENT MAXIMUM MOISTURE CONTENT.
- 2.2 EXPOSED INTERIOR TIMBER FRAMING: SHALL BE SOUTHERN YELLOW PINE SELECT STRUCTURAL GRADE, S4S, OR APPROVED EQUAL.
- 2.3 PREFABRICATED CONCEALED WOOD TRUSS: PORTIONS OF TRUSS MEMBERS WHICH ARE EXPOSED TO THE EXTERIOR (SUCH AS RAFTER TAILS) SHALL BE WOOD–PRESERVATIVE–TREATED LUMBER, KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19 PERCENT.
- 2.4 TREATED LUMBER: ALL BASE PLATES AND ALL WOOD FRAMING AND BLOCKING AT CRAWL SPACES ARE TO BE TREATED BY PRESSURE PROCESS AND SHALL BE MARKED WITH TREATMENT QUALITY MARK OF AN INSPECTION AGENCY APPROVED BY THE ALSO BOARD OF REVIEW.
- 2.5 FASTENERS: NAILS, BRADS AND STAPLES, ASTM F1667
- 2.6 FLOOR DRIVEN FASTENERS: NES NER–272.
- * FLOOR JOISTS: 18, 21, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000.
- 2.6 METAL FRAMING ANCHORS (JOIST HANGERS, RAFTER TIE–DOWS, CONNECTORS: SHALL BE SIMPSON STRONG–TIE CO. INC. OR APPROVED EQUAL. REFER TO STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- PART 3 – EXECUTION
- 3.1 SET ROUGH CARPENTRY TO REQUIRED LEVELS AND LINES WITH JAGGERS PLUMB, TRUE TO LINE, CUT AND FITTED INSTALLED ENGINEERED WOOD PRODUCTS AND METAL FRAMING ANCHORS TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND APPLICABLE CODES TO PROVIDE FIRE BLOCKING, FILL GAPS, STUD SPACES AND OTHER CONCEALED CAVITIES IN ACCORDANCE WITH APPLICABLE CODES.
- 06160 – SHEATHING
- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES WALL SHEATHING, ROOF SHEATHING, BUILDING PAPER, COMPOSITE SHEATHING/INSULATION, BUILDING WRAP AND SUBFLOORING.
- PART 2 – PRODUCTS
- 2.1 WALL SHEATHING: NOT LESS THAN 15/32" UNTREATED COX PLYWOOD OR ORIENTED STRAND BOARD, 48" X 96" UNITS.
- 2.2 ROOF SHEATHING: CONCEALED SHEATHING SHALL BE UNTREATED COX PLYWOOD OR ORIENTED STRAND BOARD, 48" X 96" UNITS.
- 2.3 COMPOSITE SHEATHING / INSULATION: SHALL BE "NAIL BOARD" BY JOHNS MANVILLE OR APPROVED EQUAL, 3" NOMINAL THICKNESS, R–20 INSULATION VALUE, CONSTRUCTED OF RIGID ISOCYANURATE INSULATION AND 7/16" ORIENTED STRAND BOARD.
- 2.4 BUILDING PAPER (A ROOF) SHALL BE 30 LB ASPHALT SATURATED, FIBERGLASS–REINFORCED ORGANIC FELT CONFORMING TO ASTM D226.
- 2.5 SUBFLOORING: SHALL BE 23/32" TONGUE AND GROOVE ADVANTECH WOOD PANEL, 48" X 96", UNTREATED BC GRADE.
- 2.6 BUILDING WRAP (AT WALLS): SHALL BE TYPE 1 AIR RETARDER, DUPONT "TYVEK" OR APPROVED EQUAL.
- PART 3 – EXECUTION
- 3.1 REFER TO STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS PERTAINING TO SHEATHING MATERIALS AND INSTALLATION.
- 3.2 SUBFLOORING SHALL BE SCREWED AND ADHESIVELY ATTACHED TO STRUCTURAL FRAMING WITH A CONTINUOUS BEAD OF CONSTRUCTION ADHESIVE, "LIQUID NAIL" OR APPROVED EQUAL.
- 3.3 INSTALL BUILDING WRAP IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. TAPE ALL OPENINGS AT DOORS, WINDOWS AND OTHER TERMINATION POINTS TO PROVIDE A CONTINUOUS, UNINTERRUPTED SEAL. REFER TO SECTIONS 07210 AND 07650 FOR ADDITIONAL THERMAL AND MOISTURE REQUIREMENTS.

02300 – EARTHWORK

- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES PREPARING SUB GRADES FOR SLABS ON GRADE, WALLS AND PAVEMENTS, AND SPREAD FOOTINGS, EXCAVATION AND BACKFILL FOR FOUNDATIONS; AND DRAINAGE COURSE FOR SLABS ON GRADE.
- PART 2 – PRODUCTS
- 2.1 SOIL MATERIALS / ENGINEERED FILL: REFER TO STRUCTURAL SPECIFICATIONS FOR FILL COMPOSITION, SOIL BEARING CAPACITY AND BACKFILL REQUIREMENTS.
- 2.2 FOUNDATION DRAINAGE COURSE SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FOUNDATIONS EXCEPT WHEN FOUNDED ON WELL–DRAINED SOILS OR SAND / GRAVEL MIXTURE AND SIMILAR SOILS.
- 2.3 PROVIDE TERMITTE PROTECTION MATERIAL BENEATH CONCRETE FLOOR SLABS, ALONG INTERIOR FACE OF FOUNDATION STEM WALLS AND ALONG EXTERIOR FACE OF FOUNDATION WALLS WHICH ARE COVERED BY EARTH, CONCRETE SLABS OR OTHER PERMANENT SURFACING. TERMITTE PROTECTION MATERIAL SHALL BE TERMITDOR SC OR EQUAL PRODUCT WHICH IS A TOXICANT FOR TERMITES AND OTHER SIMILAR WOOD–DESTROYING INSECTS. APPLICATION OF TOXICANT SHALL COMPLY WITH STATE, U.S. DEPT. OF AGRICULTURE AND ANY OTHER GOVERNING REGULATIONS.
- PART 3 – EXECUTION
- 3.1 PREPARE SUBGRADE FOR EARTHWORK OPERATIONS, INCLUDING REMOVAL OF VEGETATION, TOPSOIL, DEBRIS, DELETERIOUS MATERIALS AND OTHER NONCONFORMING CONDITIONS.
- 3.2 EXCAVATE TO SUBGRADE ELEVATIONS AND DIMENSIONS INDICATED. PLACE AND COMPACT BACKFILL IN LAYERS NOT MORE THAN 8 INCHES, TO 95% DRY DENSITY CONFORMANCE. REFER TO STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 02780 – UNIT PAVERS
- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES CONCRETE PAVERS AT PATIOS, STEPS AND WALKWAYS.
- 1.2 QUALITY ASSURANCE: OBTAIN EACH TYPE OF UNIT PAVES, JOINT MATERIAL, AND SETTING MATERIAL FROM ONE SOURCE WITH RESOURCES TO PROVIDE MATERIALS AND PRODUCTS OF CONSISTENT QUALITY IN APPEARANCE AND PHYSICAL PROPERTIES.
- PART 2 – PRODUCTS
- 2.1 LIGHT–TRAFFIC CONCRETE PAVES: SIZE AND THICKNESS TO BE VERIFIED AND COLOR TO BE SELECTED BY ARCHITECT.
- PART 3 – EXECUTION
- 3.1 JOINT PATTERN: AS PER DRAWINGS.
- 3.2 PAVERS TO BE PLACED TRUE & LEVEL.
- 03300 – CAST–IN–PLACE CONCRETE
- PART 1 – GENERAL
- 1.1 REFER TO STRUCTURAL SPECIFICATIONS ON SHEETS S2.10.
- 03450 – PLANT–PRECAST ARCHITECTURAL CONCRETE
- PART 1 – GENERAL
- 1.1 SUMMARY: SECTION INCLUDES PLANT–PRECAST ARCHITECTURAL CONCRETE PAVERS
- 1.2 QUALITY ASSURANCE: WORK SHALL BE IN ACCORDANCE WITH ACI 318.
- PART 2 – PRODUCTS
- 2.1 SOLID PAVING UNITS, MADE FROM NORMAL–WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH NOT LESS THAN 4000 PSI, WATER ABSORPTION NOT MORE THAN 13 PERCENT MAXIMUM, NOT LESS THAN 140,000 PSI COMPRESSIVE STRENGTH, MORE THAN 10 PERCENT MAXIMUM LOSS WHEN TESTED FOR FRICTION, AND BRAGMAN RESISTANCE ACCORDING TO ASTM C 67, THICKNESS: 2 INCHES (51 MM), FACE SIZE: REFER TO DRAWINGS. COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.
- PART 3 – EXECUTION
- 3.1 SET UNITS PLUMB, TRUE AND LEVEL, WITH SAND GROUT.

DIVISION 1: GENERAL REQUIREMENTS

01000 – GENERAL CONDITIONS

- PART 1 – GENERAL
- 1.1 THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND NOTIFY THE OWNER IN A TIMELY MANNER OF ANY DISCREPANCY WITHIN THE DOCUMENTS OR CONFLICTS BETWEEN THE DOCUMENTS AND EXISTING CONDITIONS OR ANY APPLICABLE CODES, LAWS, STATUTES OR ORDINANCES. THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL THE OWNER HAS REVIEWED THE DISCREPANCY AND GIVEN WRITTEN CLARIFICATION OF THE DISCREPANCY. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY WITHOUT RECEIPT OF OWNER'S WRITTEN INSTRUCTION, SHALL BE DONE AT THE CONTRACTOR'S OWN RISK.
- 1.2 THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.
- 1.3 UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, WHETHER TEMPORARY OR PERMANENT AND WHETHER OR NOT INCORPORATED OR TO BE INCORPORATED IN THE WORK.
- 1.4 THE CONTRACTOR MAY MAKE SUBSTITUTIONS ONLY WITH THE CONSENT OF THE OWNER.
- 1.5 THE CONTRACTOR WARRANTS TO THE OWNER AND ARCHITECT THAT MATERIALS AND METHODS FURNISHED UNDER THE CONTRACT WILL BE OF GOOD QUALITY AND NEW UNLESS OTHERWISE REQUIRED OR PERMITTED BY THE CONTRACT DOCUMENTS. THAT THE WORK WILL BE FREE FROM DEFECTS NOT INHERENT IN THE QUALITY REQUIRED OR PERMITTED, AND THAT THE WORK WILL CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. WORK NOT CONFORMING TO THESE REQUIREMENTS, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, MAY BE CONSIDERED DEFECTIVE. THE CONTRACTOR'S WARRANTY EXCLUDES REMEDY FOR DAMAGE OR DEFECT CAUSED BY ABUSE, MODIFICATIONS NOT EXERCISED BY THE CONTRACTOR, IMPROPER OR INSUFFICIENT MAINTENANCE, IMPROPER OPERATION, OR NORMAL WEAR AND TEAR AND NORMAL USAGE. GENERAL WARRANTY PERIOD SHALL BE ONE YEAR FROM THE DATE OF PROJECT COMPLETION, UNLESS OTHER SECTIONS OF THE SPECIFICATIONS INDICATE LONGER DURATION FOR SPECIFIC ITEMS.
- 1.6 ALL PRODUCTS AND MATERIALS USED BY THE CONTRACTOR SHALL BE APPLIED, PLACED, ERECTED OR INSTALLED, IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, INSTRUCTIONS AND RECOMMENDATIONS.
- 1.7 UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK WHICH ARE CUSTOMARILY SECURED AFTER EXECUTION OF THE CONTRACT AND WHICH ARE LEGALLY REQUIRED WHEN BIDS ARE RECEIVED OR NEGOTIATIONS CONCLUDED.
- 1.8 THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES APPLICABLE TO PERFORMANCE OF THE WORK.
- 1.9 THE CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY OPERATIONS UNDER THE CONTRACT. AT COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE FROM AND ABOUT THE PROJECT WASTE MATERIALS, RUBBISH, THE CONTRACTOR'S TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SUPPLUS MATERIALS.
- 1.10 TO THE FULLEST EXTENT PERMITTED BY LAW AND TO THE EXTENT CLAIMS, DAMAGES, LOSSES OR EXPENSES ARE NOT COVERED BY PROJECT MANAGEMENT PROTECTIVE LIABILITY INSURANCE PURCHASED BY THE CONTRACTOR, THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, ARCHITECT'S CONSULTANTS, AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES.
- 01330 – SUBMITTAL PROCEDURES
- PART 1 – GENERAL
- 1.1 THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT DATA AND SAMPLES FOR SPECIFIED ITEMS ON THE DRAWINGS, OR ITEMS REQUESTED BY THE OWNER. THE GENERAL CONTRACTOR IS RESPONSIBLE TO REVIEW AND APPROVE SHOP DRAWINGS, PRODUCT DATA AND SAMPLES PRIOR TO SUBMITTAL TO OWNER. THE GENERAL CONTRACTOR IS RESPONSIBLE TO DETERMINE AND VERIFY ALL FIELD MEASUREMENTS, PRODUCT QUANTITIES, FIELD CONSTRUCTION CRITICAL CATALOG NUMBERS AND SIMILAR DATA AND CONFORMANCE WITH CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL SUBMIT TWO (2) COPIES OF SHOP DRAWINGS, PRODUCT DATA AND SAMPLES TO OWNER FOR REVIEW AND COMMENT. ALL SUBMITTALS SHALL CONTAIN CONTRACTOR'S STAMP, SIGNED AND CERTIFYING THAT PRODUCTS, FIELD MEASUREMENTS, FIELD CONSTRUCTION CRITERIA AND INFORMATION SUBMITTED HAS BEEN REVIEWED AND ACCEPTED BY CONTRACTOR AS ACCURATE AND CONFORMING WITH THE CONSTRUCTION DOCUMENTS. SUBMITTALS NOT BEARING CONTRACTOR'S SIGNED APPROVAL STAMP WILL BE RETURNED UNREVIEWED.
- 01500 – TEMPORARY FACILITIES AND CONTROLS
- PART 1 – GENERAL
- 1.1 THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY FACILITIES AND CONTROLS FOR THE PROJECT, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
- * SANITARY FACILITIES, TOILETS, WASH FACILITIES, ETC.
 - * ELECTRIC POWER SERVICE, TELEPHONE, LIGHTING.
 - * Dewatering FACILITIES AND DRAINS.
 - * WASTE DISPOSAL FACILITIES.
 - * FIELD OFFICES, STORAGE AND FIRE PROTECTION.
 - * ENVIRONMENTAL PROTECTION, SECURITY AND FIRE PROTECTION.
- 01770 – CLOSEOUT PROCEDURES
- PART 1 – GENERAL
- 1.1 SUBSTANTIAL COMPLETION: PRIOR TO SUBSTANTIAL COMPLETION, PREPARE THE FOLLOWING:
- * PUNCH LIST ITEMS WITH ESTIMATED VALUE.
 - * PROJECT WARRANTIES, FINAL CERTIFICATES, OCCUPANCY PERMITS, OPERATING PERMITS, ETC.
 - * PROJECT RECORD DOCUMENTS, OPERATION AND MAINTENANCE MANUALS.
 - * CHANGEOVER OF PERMANENT LOOKS, REMOVAL OF TEMPORARY FACILITIES, AND FINAL CLEANING.
- 1.2 FINAL COMPLETION: SUBMIT A FINAL APPLICATION FOR PAYMENT, WITH A CERTIFIED COPY OF COMPLETED PUNCH LIST, VERIFYING RESOLUTION OF ALL ITEMS. INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF PRODUCTS, EQUIPMENT AND SYSTEMS.

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DESIGN

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NEW ORLEANS, LA 70130

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09220 – PORTLAND CEMENT PLASTER

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES EXTERIOR 7/8" STUCCO ON METAL LATH.
- 1.2 MOUOPR: PROVIDE 24" X 24" STUCCO MOCKUP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

PART 2 – PRODUCTS

- 2.1 LATH FOR VERTICAL PLASTER: STRUCTURAL QUALITY, SELF-FLARING ZINC-COATED (GALVANIZED) DIAMOND-MESH LATH, 3.4 LBS/ SQ. YD.
- 2.2 ACCESSORIES: PROVIDE CORNER-BEADS, CASING BEADS AND CONTROL JOINTS AS INDICATED AND AS REQUIRED TO ENSURE A SMOOTH, UNIFORM, CRACK-FREE STUCCO ASSEMBLY. MAXIMUM CONTROL JOINT SPACING SHALL BE 12 FEET.
- 2.3 STUCCO MATERIALS: (MIX PROPORTIONS SHALL BE SUBMITTED FOR PRIOR APPROVAL).

- BASE COAT CONSISTS OF 2 COATS – 5/8" TOTAL THICKNESS:
- 1 PART PORTLAND CEMENT
- 3 PARTS LIME
- 9 PARTS SAND

- 6 LBS/CUBIC YARD HAIR OR FIBER
- ENOUGH WATER TO FORM A WORKABLE MIX
- FINISH COAT – 1/4" TOTAL THICKNESS:
- 1 PART PORTLAND CEMENT
- 3 PARTS LIME
- 9 PARTS SAND

PART 3 – EXECUTION

- 3.1 PROVIDE SCRATCH, BROWN AND FINISH COATS, WITH HIGH QUALITY LATEX FINISH COATING ON ALL PLASTER SURFACES. INSTALLATION SHALL BE PERFORMED BY QUALIFIED STUCCO APPLICATOR WITH A MINIMUM OF FIVE YEARS EXPERIENCE IN THE INSTALLATION OF STUCCO.

09250 – GYPSUM WALLBOARD

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES INTERIOR GYPSUM BOARD, TILE BACKING PANELS AND ACCESSORIES.

PART 2 – PRODUCTS

- 2.1 GYPSUM WALLBOARD: THICKNESS 1/2" OR AS INDICATED ON THE DRAWINGS, CONFORMING TO ASTM C36, BY U.S. GYPSUM, NATIONAL GYPSUM OR APPROVED EQUAL. CORNER-BEADS AND L-BEADS SHALL MEET ASTM C1047 AND SHALL BE GALVANIZED OR ALUMINUM-COATED SHEET STEEL OR ROLLED ZINC. JOINT TREATMENT MATERIALS SHALL COMPLY WITH ASTM C475.
- 2.2 WATER-RESISTANT BOARD: PROVIDE IN BATHROOMS, LAUNDRY ROOM, KITCHEN, MUD ROOM AND ANY OTHER LOCATION SUBJECT TO MOISTURE OR DAMPNESS.
- 2.3 CEMENT BACKER BOARD: FIBER-REINFORCED, 1/2" THICKNESS.
- PART 3 – EXECUTION
- 3.1 GYPSUM BOARD FINISH SHALL BE LEVEL 4 AT ALL EXPOSED SURFACES, SMOOTH TEXTURE, IN ACCORDANCE WITH ASTM C940.

09310 – CERAMIC TILE

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES WALL, FLOOR AND CEILING TILE, WATERPROOF MEMBRANE FOR THIN-SET TILE INSTALLATION, AND ACCESSORIES.

PART 2 – PRODUCTS

- 2.1 WALL TILE: TO BE DETERMINED.
- 2.2 FLOOR TILE: TO BE DETERMINED.
- 2.3 WATER PROOFING MEMBRANE: SHALL COMPLY WITH ANSI A118.10, AND SHALL BE EITHER CHLORINATED POLYETHYLENE SHEET PRODUCT, POLYETHYLENE SHEET PRODUCT, OR FABRICATED-REINFORCED, FLUID-APPLIED PRODUCT.
- 2.4 SETTING AND GROUTING MATERIALS: LATEX PORTLAND CEMENT MORTAR (THIN-SET), CONFORMING TO ANSI A118.4. POLYMER-MODIFIED TILE GROUT CONFORMING TO ANSI A118.7.

PART 3 – EXECUTION

- 3.1 INSTALLATION: COMPLY WITH ANSI A108 SERIES "SPECIFICATIONS FOR INSTALLATION OF CERAMIC TILE" AND MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.

09640 – WOOD FLOORING

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES SOLID WOOD TONGUE AND GROOVE FLOORING, 12 FIELD FINISHED: COMPLY WITH NORMA'S "OFFICIAL FLOORING GRADING
- 1.2 QUALITY ASSURANCE: COMPLY WITH NORMA'S "OFFICIAL FLOORING GRADING

09910 – STILE AND RAIL WOOD DOORS

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES INTERIOR STILE AND RAIL WOOD DOORS; AND FACTORY FINISHED DOORS FOR EXTERIOR.
- 1.2 QUALITY ASSURANCE: COMPLY WITH NORMA'S "OFFICIAL FLOORING GRADING
- 1.3 QUALITY ASSURANCE: COMPLY WITH NORMA'S "OFFICIAL FLOORING GRADING
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08262 – ALUMINUM-CLAD WOOD DOORS

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES EXTERIOR PATIO DOORS AND FRAMES
- 1.2 WARRANTY: TWENTY YEAR MANUFACTURER'S WARRANTY
- PART 2 – PRODUCTS
- 2.1 SEE SCHEDULE
- PART 3 – EXECUTION
- 3.1 INSTALLATION: INSTAL DOORS TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

08800 – GLAZING

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES INSULATED GLAZING AT CUSTOM-FRAMED DOORS AND WINDOWS.
- 1.2 PROVIDE MINIMUM FIVE-YEAR WARRANTY FOR DEGRADATION OF LAMINATED GLASS PRODUCTS.

PART 2 – PRODUCTS

- 2.1 GLAZING THICKNESS SHALL BE AS REQUIRED TO COMPLY WITH ASTM E1300 AND USE DESIGN WIND LOADS FOR EXTERIOR GLAZING. LATERAL LOADS TO COMPLY WITH CODE REQUIREMENTS, AND THERMAL MOVEMENT.
- 2.2 INSULATING GLASS UNITS: FACTORY-ASSEMBLED UNITS CONSISTING OF HEAT-STRENGTHENED FLOAT GLASS WITH LOW-E COATING SEPARATED BY 2-DEHYDRATED LITES WHERE SAFETY GLASS IS REQUIRED BY APPLICABLE CODES. SEALING SYSTEM AND SPACERS SHALL BE MANUFACTURER'S STANDARD MATERIALS AND CONSTRUCTION.
- 2.3 MIRRORS: 1/2" MINIMUM FLOAT GLASS, #1 QUALITY, STANDARD SILVERING, GROUND AND POLISHED GLASS EDGES.
- 2.4 GLASS HANDRAILS TO BE SAFETY LAMINATED UNITS IN COMPLIANCE WITH ASTM C 1048 SUPPORT DISTRIBUTED LOAD OF 50 POUNDS PER LINEAR FOOT (0.73KN/M). APPLIED HORIZONTALLY AT RIGHT ANGLES IN ANY DIRECTION TO THE HANDRAIL. SUPPORT CONCENTRATED HORIZONTAL LOAD OF 200 POUNDS (0.89KN) ON 1 SF (0.093M2) AT ANY POINT ALONG HANDRAIL SYSTEM. 50 LBS (0.22KN) ON 1 SF (0.093M2) PERPENDICULAR TO GUARD AT ANY LOCATION. WIND LOADS 25 PSF OR AS OTHERWISE SPECIFIED. DISTRIBUTED LOADS AND CONCENTRATED LOADS NOT TO BE APPLIED SIMULTANEOUSLY.
- 2.6 GLAZED WALL SYSTEMS SHALL BE OR LAWRENCE SERRINITY SERIES OR EQUAL, AND COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS.

PART 3 – EXECUTION

- 3.1 INSTALLATION: INSTAL WINDOWS TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

07411 – METAL ROOF PANELS

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES FACTORY FORMED AND FIELD ASSEMBLED METAL ROOF PANELS.
- 1.2 WIND UPLIFT RESISTANCE SHALL BE IN ACCORDANCE WITH UL 580, MINIMUM DESIGN BUILDING CODE.
- 1.3 PROVIDE MINIMUM SIZED 48" X 96" MOCKUP INCLUDING ACTUAL ROOF PANEL SIZE, MATERIAL, THICKNESS, FINISH, WALL TERMINATION, RIDE CONDITION, EAVE CONDITION AND RAKE CONDITION DEMONSTRATING COMPLETE ASSEMBLY. FOR OWNER'S REVIEW AND APPROVAL.
- 1.4 WARRANTY: FIVE YEARS FOR MATERIALS AND WORKMANSHIP, TEN YEARS FOR WEATHER RESISTANCE.
- PART 2 – PRODUCTS
- 2.1 METAL ROOF PANELS: EXPOSED FASTENER, 24 GAUGE GALVALUME, PROFILE TO BE DETERMINED.
- 2.2 ACCESSORIES: FASTENERS SHALL BE NON-CORROSIVE TYPE, MINIMUM #10 HEX HEAD SCREWS WITH BANNED NEOPRENE WASHERS. UNDERLAYMENT SHALL BE 30-LB ASPHALT-SATURATED, FIBERGLASS REINFORCED ORGANIC FELT, COMPLYING WITH ASTM D226, WITH RED ROSIN PAPER SLIP SHEET, OR APPROVED EQUAL.
- 2.3 AT ALL EAVES, VALLEYS AND SIMILAR AREAS, PROVIDE SELF ADHERING WATERPROOF MEMBRANE "ICE AND WATER SHIELD" OR APPROVED EQUAL, 24" WIDE, BELOW ROOF PANELS.
- 2.4 CUTTER AND DOWNSPOUT: GALVANIZED STEEL WITH GALVALUME FINISH, SIZE AND GAUGE IN ACCORDANCE WITH SMOCKA DESIGN STANDARDS.
- PART 3 – EXECUTION
- 3.1 INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SMOCKA ARCHITECTURAL SHEET METAL MANUAL AND STANDARD PRACTICES.

07460 – SIDING

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES FIBER-REINFORCED CEMENT (FRC) SIDING, FASCOA, SOFFIT AND TRIM, WITH FASTENERS.
- PART 2 – PRODUCTS
- 1.2 VERTICAL LAP/ BATTEN BOARD SIDING: SHALL BE HARDPLANK VERTICAL LAP SIDING, 12 FT. LENGTHS, SMOOTH SURFACE, 5/16" THICKNESS, PRE-PRIMED, 5" EXPOSURE UNLESS INDICATED OTHERWISE.
- 2.2 PANELS: SHALL BE HARDPLANK, SMOOTH SURFACE, PRE-PRIMED.
- 2.3 FRC TRIM: SHALL BE HARDTRIM, 3/4" THICKNESS, SMOOTH SURFACE, WIDTH AS INDICATED ON THE DRAWINGS, PRE-PRIMED.
- PART 3 – EXECUTION
- 3.1 NAILING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. LAP PRODUCTS SHALL BE FACE NAILED WITH CORROSION-RESISTANT SIDING NAILS. LENGTHS AND FASTENING PATTERN AS REQUIRED BY THE MANUFACTURER'S RECOMMENDATIONS.
- 3.2 VERTICAL SIDING AND PLANTING OF SIDING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 3.3 ALTERNATE AND HORIZONTAL JOINTS TO BE FLASHED AS PER DRAWINGS.

07620 – SHEET METAL FLASHING AND TRIM

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES SHEET METAL FLASHING, COUNTER FLASHING AND ACCESSORIES.
- 1.2 QUALITY STANDARD: SMOCKA "ARCHITECTURAL SHEET METAL MANUAL," CURRENT EDITION.
- PART 2 – PRODUCTS
- 2.1 SHEET METAL SHALL BE GALVALUME FINISH TO MATCH ROOF PANELS. GAUGE SHALL BE IN ACCORDANCE WITH SMOCKA DESIGN STANDARDS BUT SHALL IN NO CASE BE LESS THAN 24 GAUGE.
- 2.2 FASTENERS SHALL BE COMPATIBLE WITH FLASHING MATERIALS AND SUBSTRATE. PROTECT DISSIMILAR MATERIALS FROM DIRECT CONTACT.

PART 3 – EXECUTION

- 3.1 FLASHING SHALL BE PROVIDED ABOVE THE HEAD OF ALL WINDOW AND DOOR OPENINGS, AT INTERSECTING CHIMNEYS OR MASONRY CONSTRUCTION WITH FRAMED WALLS, ABOVE ALL PROJECTING WOOD TRIM, AT WALL AND ROOF INTERSECTIONS, AROUND ALL ROOF OPENINGS AND OTHER LOCATIONS AS REQUIRED TO CREATE A WEATHER-TIGHT JOINT.
- 3.2 AT BRICK CHIMNEY, PROVIDE STEPPED BRICK THRU-WALL FLASHING AND COUNTERFLASHING, MINIMUM 24 GAUGE.
- 3.3 INSTALL SHEET METAL FLASHING AND TRIM TO WHISTAND WIND LOADS, STRUCTURAL MOVEMENT, THERMALLY INDUCED MOVEMENT AND EXPOSURE TO WEATHER WITHOUT DEFLECTION, RATTLING, LEAKING AND FASTENER DISENGAGEMENT.

07650 – SELF-ADHERING FLASHING

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION TO INCLUDE SELF-ADHERING FLASHING AT OPENINGS IN EXTERIOR WALLS AND OTHER AREAS INDICATED ON THE DRAWINGS.
- PART 2 – PRODUCTS
- 2.1 SELF-ADHERING FLASHING TO BE "ICE AND WATER SHIELD" OR APPROVED EQUAL.
- PART 3 – EXECUTION
- 3.1 INSTALL FLASHING AT ALL WINDOW AND DOOR JAMBS, ENVELOPE OPENINGS AND AT OTHER LOCATIONS INDICATED ON THE DRAWINGS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

07920 – JOINT SEALANTS

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION TO INCLUDE EXTERIOR JOINTS IN VERTICAL SURFACES AND HORIZONTAL NON-TRAFFIC SURFACES, INTERIOR JOINTS IN VERTICAL SURFACES, AND ACCESSORIES.
- 1.2 INSTALLER'S WARRANTY PERIOD SHALL BE TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION.
- PART 2 – PRODUCTS
- 2.1 INTERIOR JOINT SEALANT: SINGLE-COMPONENT NON-SOLVENT URETHANE SEALANT, GRADE S.
- 2.2 INTERIOR JOINT AREAS: PLUMBING FIXTURES AND SIMILAR AREAS: MILDWE-RESISTANT SILICONE SEALANT, GRADE S, CLASS 25.
- 2.3 INTERIOR GENERAL PURPOSE SEALANT TO RECEIVE PAINTING: LATEX SEALANT, AC-20 BY PEGCREA OR APPROVED EQUAL.
- 2.4 CONCEALED JOINTS AT EXTERIOR SUBSTRATES ASSOCIATED WITH FLEXIBLE FLASHING: BUTYL SEALANT, PEGCREA BC-158 OR APPROVED EQUAL.
- PART 3 – EXECUTION
- 3.1 EXTERIOR JOINTS: JOINTS INCLUDE BUT ARE NOT LIMITED TO PERIMETER WINDOWS AND DOORS, JOINTS BETWEEN EXTERIOR WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, AT UTILITY SERVICE PENETRATIONS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE REQUIRED TO PREVENT AIR INFILTRATION AND TO CREATE A WEATHERTIGHT SEAL.

06402 – INTERIOR ARCHITECTURAL WOODWORK AND COUNTERTOPS

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES INTERIOR WOOD CABINETS AND CASEWORK, COUNTERTOPS IN KITCHENS AND BATHS. MILLWORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 NATIONAL GRADING AND BUILDING CODE (NGB) CURRENT EDITION.
- 1.3 PROVIDE COMPLETE SHOP DRAWINGS FOR CABINETS AND MILLWORK WHICH INCLUDE THE FOLLOWING:
 - DIMENSIONAL INFORMATION FOR ALL COMPONENTS, SHAPES, ARRANGEMENTS, JOINT DETAILS, ETC.
 - CONNECTIONS OF MILLWORK TO ADJACENT WORK.
 - FINISHES, INCLUDING COLOR, GRAIN, AND SPECIFICITY ITEMS, HARDWARE, ETC.
 - IDENTIFY MATERIAL, GRADES, WORKMANSHIP GRADES, WOOD SPECIES AND FINISHES.
- PART 2 – PRODUCTS
- 2.1 WOOD MILLWORK – STANDING AND RUNNING TRIM, SHELVING AND COUNTERTOPS: DOUGLAS FIR, GRADE B AND BETTER, 3/4" THICKNESS.
- 2.2 CABINET DOORS: KICK, GRADE WOOD PANEL, 3/4" THICKNESS, WITH 1/2" X 1/4" EDGE BANDING, OPAQUE FINISH.
- 2.3 FINISH HARDWARE:
 - DRAWER AND DOOR PULLS: TO BE DETERMINED BY OWNER.
 - EXTENSION DRAWER SLIDES: ACQUIRE OR APPROVED EQUAL.
 - 2.5 CONCRETE COUNTERTOPS: SHALL BE FACTORY PRECAST UNITS, 2" NOMINAL THICKNESS, MINIMUM 3000-PSI CONCRETE, WITH FACTORY BLOCKOUTS FOR SINKS AND LAVATOIRES. BASIS OF DESIGN: "CREATIVE CONCRETE AND TILE," YOUNGSTOWN, OHIO, NORMAL USE.
- 2.6 SMOOTH SURFACE COUNTERTOPS SHALL BE CORIAN OR ZODIAC PRODUCT. COLOR TO BE CHOSEN BY ARCHITECT.
- PART 3 – EXECUTION
- 3.1 FIELD VERIFY ALL MEASUREMENTS PRIOR TO FABRICATION. IF FIELD MEASUREMENTS DIFFER SLIGHTLY FROM DRAWINGS, MODIFY WORK AS REQUIRED FOR ACCURATE FIT. PROVIDE FIELD SCRIBED WOOD FINISH STRIPS AT EDGES OF CABINETS IN LIEU OF SEALANT JOINTS.
- 3.2 WOOD JOINTS AND MILLWORK SHALL BE SHOP FABRICATED WHEREVER POSSIBLE.
- 3.3 PRECAST CONCRETE TOPS SHALL BE PROTECTED FROM DAMAGE DURING SHIPMENT, AND SHALL BE FREE OF CRACKS, CHIPS OR ANY DEFECTS WHATSOEVER. DAMAGED OR DEFECTIVE UNITS SHALL BE REPLACED. CONCRETE FINISH SHALL BE SEAT IN FULL ADHESIVE BED AND SUPPORTED AS NECESSARY TO AVOID DEFLECTION OR CRACKING UNDER NORMAL USE.

07132 – EPDM MEMBRANE ROOFING

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES EXISTING MEMBRANE ROOFING SYSTEM, ROOFING SYSTEM DESIGN, UPLIFT PRESSURES CALCULATED ACCORDING TO ASCE 7, FIVE LIFTING, CLASS 1A-90, QUALITY STANDARD. EXTERIOR PRE-TEST EXPOSURE, CLASS 5, WARRANTY: MANUFACTURER'S MATERIALS AND WORKMANSHIP WARRANTY: 10 YEARS, INSTALLER'S WARRANTY: 2 YEARS.
- PART 2 – PRODUCTS
- 2.1 EPDM ROOFING MEMBRANE: REINFORCED, 45 MILS (1.1 MM) THICK.
- 2.2 FLASHING SHEET: 60 MIL (1.5 MM) THICK EPDM.
- PART 3 – EXECUTION
- 3.1 ROOFING MEMBRANE TO BE MECHANICALLY FASTENED. SEAMS: ADHESIVE.

07141 – COLD FLUID APPLIED WATERPROOFING

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES SINGLE-COMPONENT, MODIFIED POLYURETHANE WATERPROOFING.
- PART 2 – PRODUCTS
- 2.1 SINGLE-COMPONENT, MODIFIED POLYURETHANE WATERPROOFING.
- 2.2 WATER/TIGHTNESS WARRANTY: 5 YEARS.
- 2.3 PROTECTION COURSE: FACED, SCUMING, REINFORCED-ASPHALTIC CORE SHEET
- PART 3 – EXECUTION
- 3.1 APPLICATION: AVERAGE DRY FILM THICKNESS OF 60 MILS (1.5 MM)
- 3.2 INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

07210 – BUILDING INSULATION

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES CONCEALED ROOF AND WALL INSULATION.
- PART 2 – PRODUCTS
- 2.1 RIGID INSULATION SHALL BE UNFACED GLASS FIBER BLANKET, TYPE 1, MINIMUM R-19 DOW CORNING, "JOHNS-MANVILLE "TORMALDENHOF FREE" INSULATION OR APPROVED EQUAL. PRODUCTS BY OWENS CORNING OR CERTAINTED.
- 2.2 RIGID ROOF INSULATION: JOHNS MANVILLE "MILBOARD" RIGID ROOF POLYISOCYANURATE FOAM CORE INSULATION, MINIMUM R-19, OR APPROVED EQUAL.
- 2.3 FOAM INSULATION: PROVIDE EXPANDABLE, "TORMALDENHOF FREE" FOAM INSULATION AT ALL OPEN CRACKS, JOINTS OR OTHER AREAS WHICH ARE TOO SMALL TO RECEIVE BATT INSULATION OR ARE OTHERWISE OPEN BETWEEN CONDITIONED AND UNCONDITIONED SPACE.

PART 3 – EXECUTION

- 3.1 INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. NO EXPOSED THRU-DECK FASTENERS SHALL BE PERMITTED AT GROOVE ROOF SHEATHING.
- 3.2 AT ALL WALLS BETWEEN CONDITIONED AND UNCONDITIONED SPACES, AND ALL FLOORS ABOVE UNCONDITIONED SPACES, SHALL BE INSULATED TO THE SAME REQUIREMENTS AT EXTERIOR WALLS.
- 3.3 PROVIDE INSULATION Baffle AROUND ALL FLUES, METAL CHIMNEYS, GAS VENTS, RECESSED LIGHT FIXTURES OR FIXTURES OR EQUIPMENT VENTILATION FOR FIRE SAFETY.
- 3.4 WHERE REQUIRED ATTIC ACCESS IS IN AN INSULATED CEILING, PROVIDE INSULATION Baffle AROUND HATCH OPENING AND INSULATE THE HATCH TO THE SAME LEVEL AS THE SURROUNDING CEILING.

09910 – PAINTING

PART 1 – GENERAL

- 1.1 SUMMARY: SECTION INCLUDES INTERIOR AND EXTERIOR PAINTING OF: WOOD, FIBER-REINFORCED CEMENT MATERIALS, WALLS AND GYPSUM BOARD ASSEMBLIES.
- 1.2 QUALITY ASSURANCE: COMPLY WITH REQUIREMENTS IN "MIM-ARCHITECTURAL PAINTING SPECIFICATION MANUAL" FOR PRODUCTS AND PAINT SYSTEMS INDICATED.
- PART 2 – PRODUCTS
- 2.1 EXTERIOR WOOD TRIM TO RECEIVE OPAQUE FINISH: 1 COAT EXTERIOR ALKID WOOD PRIMER (BACK-PRIMED) AND 2 COATS EXTERIOR LOW-LUSTER ACRYLIC PAINT – SHERWIN WILLIAMS A-100 SERIES OR EQUAL.
- 2.2 EXTERIOR FRC SIDING (PRE-PRIMED): 2 COATS EXTERIOR LOW-LUSTER ACRYLIC PAINT – SHERWIN WILLIAMS A-100 SERIES OR EQUAL.
- 2.3 EXTERIOR TREATED WOOD PORCHES AND DECKS: TWO COATS EXTERIOR SEMI-TRANSPARENT STAIN, FACTORY FORMULATED LOW-SHEEN STAIN FOR EXTERIOR APPLICATION OVER ACQ-D WOOD PRESERVATIVE. SHERWIN WILLIAMS WOOD SCAPES POLYURETHANE EXTERIOR STAIN (A1915) OR EQUAL.
- 2.5 INTERIOR GYPSUM BOARD CEILINGS, WALLS, AND OPAQUE WOOD TRIM: LOW-LUSTER ACRYLIC ENAMEL, SHERWIN WILLIAMS HARMOYR INTERIOR LATEX EG-SHEL BY SERIES, OR EQUAL, PRIMER PLUS 2 COATS.
- 2.6 INTERIOR WOOD SURFACES, SEMI-TRANSPARENT FINISH: ALKID STAIN WITH INTERIOR COLOR, HAND-WIPED.
- 2.7 INTERIOR WOOD SURFACES, TO RECEIVE OPAQUE FINISH: 1 COAT ALKID WOOD PRIMER AND 2 COATS EXTERIOR LOW-LUSTER ACRYLIC PAINT – SHERWIN WILLIAMS A-100 SERIES OR EQUAL.

11451 – RESIDENTIAL APPLIANCES

PART 1 – GENERAL

- 1.1 THIS SECTION INCLUDES DISHWASHER, STOVE/OP, OVEN AND OVEN HOOD, MICROWAVE AND GARAGE DISPOSAL.
- PART 2 – PRODUCTS: SEE 3.10

15100 – PLUMBING

PART 1 – GENERAL

- 1.1 THIS SECTION INCLUDES WATER AND SANITARY SEWER PIPING, WATER HEATING SYSTEM, SERVICE CONNECTIONS TO PUBLIC UTILITIES, AND PLUMBING FIXTURES AND TRIM.
- 1.2 THE PLUMBING INFORMATION CONTAINED ON THE DRAWINGS AND SPECIFICATIONS IS INTENDED TO ESTABLISH GENERAL PARAMETERS AND QUALITY REQUIREMENTS FOR THE WORK. THE CONTRACTOR IS REQUIRED TO DEVELOP DETAILED REQUIREMENTS INCLUDING LAYOUT AND SIZING OF ALL PIPING, VALVES AND TRIM, SIZING OF WATER HEATERS AND INSTALLATION OF ALL PIPING, VALVES IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES. THE CONTRACTOR IS TO SUBMIT SHOP DRAWINGS AND PRODUCT INFORMATION PRIOR TO COMMENCING THE WORK.
- PART 2 – PRODUCTS: SEE EQUIPMENT AND FIXTURE SCHEDULE



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15700 – HVAC EQUIPMENT

PART 1 –GENERAL

- 1.1 THIS SECTION INCLUDES SPLIT SYSTEM DIRECT EXPANSION HVAC UNITS, DUCTWORK, GRILLES, REGISTERS, EXHAUST VENTILATORS AND CONTROLS.
- 1.2 THE HVAC INFORMATION CONTAINED ON THE DRAWINGS AND SPECIFICATIONS IS INTENDED TO ESTABLISH GENERAL PARAMETERS AND QUALITY REQUIREMENTS FOR THE WORK. THE CONTRACTOR IS REQUIRED TO DEVELOP DETAILED REQUIREMENTS INCLUDING THE SIZING OF THE COMPRESSOR AND FAN COIL UNITS; THE SIZING, CONFIGURATION AND ROUTING OF ALL DUCTWORK; SPECIFIC LOCATIONS OF GRILLES AND REGISTERS; ROUTING OF REFRIGERANT PIPING TO COMPRESSORS; AND THE POSITIONING OF THERMOSTATS. ALL OF WHICH IS TO BE IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES AND ASHRAE STANDARDS. THE CONTRACTOR IS TO SUBMIT PRODUCTION DRAWINGS AND INFORMATION FOR OWNER REVIEW PRIOR TO COMMENCING THE WORK.

PART 2 – PRODUCTS

- 2.1 HVAC UNITS: TONNAGE SHALL BE DETERMINED BY CONTRACTOR, IN ACCORDANCE WITH ASHRAE GUIDELINES AND APPLICABLE CODES.
- 2.2 EXHAUSTER SHALL BE COORDINATED WITH SPECIFIED HVAC SYSTEM.
- 2.3 DUCTWORK: FLEX DUCT TO BE TYPICAL WHERE NEEDED BY CODE – RIGID METAL DUCTWORK WITH SEALED JOINTS FOR ALL SUPPLY AIR DUCTWORK
- 2.4 EXHAUST VENTILATORS TO BE DETERMINED
- 2.5 REGISTERS: TO BE DETERMINED
- 2.6 SMOKE ALARMS: TYPE AND LOCATION AS REQUIRED BY LOCAL BUILDING CODE. PROJECT'S SECURITY SYSTEM TO BE COORDINATED WITH REQUIRED SMOKE DETECTION COMPONENTS.

16000 – ELECTRICAL

PART 1 –GENERAL

- 1.1 THE ELECTRICAL INFORMATION CONTAINED ON THE DRAWINGS AND SPECIFICATIONS IS INTENDED TO ESTABLISH GENERAL PARAMETERS AND QUALITY REQUIREMENTS FOR THE WORK. THE CONTRACTOR IS REQUIRED TO DEVELOP DETAILED REQUIREMENTS INCLUDING THE SIZING AND CONFIGURATION OF THE PRIMARY AND SECONDARY ELECTRICAL SERVICE, THE 110 V AND 220 V BRANCH ELECTRICAL CIRCUITRY, CONDUIT AND WIRING , ELECTRICAL SWITCHES AND OUTLETS, ELECTRICAL DEVICES AND INTERIOR /EXTERIOR LIGHTING. THE CONTRACTOR IS TO SUBMIT PRODUCTION DRAWINGS AND INFORMATION FOR OWNER REVIEW PRIOR TO COMMENCING THE WORK. SEE DIRECTION PROVIDED BY THE DOCUMENTS' ELECTRICAL AND LIGHTING DRAWINGS – SHEETS 10.0 SERIES.

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330 S. DIAMOND STREET
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DEPARTMENT OF SAFETY & PERMITS
CITY OF NEW ORLEANS

PERMIT NO: _____ DATE: _____

DISTRICT: 1ST SQUARE: 51 LOTS: 15

SUBDIVISION: _____ ADDRESS: 330 SOUTH DIAMOND STREET-70130

COMMUNITY NO.	PANEL NO	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONES - USE DEPTH)
225 203	0160	E	3/01/84	B	N/A

MINIMUM FLOOR ELEVATION: _____

IN ADDITION TO THE FEMA ELEVATIONS, THE FOLLOWING

CONDITIONS MUST ALSO BE MET:
A. TOP OF SLABS ON GRADE OR FILL SHALL BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE.
B. PIER CONSTRUCTION: TOP OF PIERS (UNDERSIDE OF SILLS) MUST HAVE AT LEAST 18" CLEARANCE BENEATH THE STRUCTURE. IN ADDITION, THE LOWEST FLOOR MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE. (IF NO CURB, USE CENTERLINE OF STREET).
C. SLABS SUPPORTING MECHANICAL OR PLUMBING EQUIPMENT MUST BE LOCATED AT THE REQUIRED FLOOR ELEVATION.
D. SLABS FOR ATTACHED GARAGES MUST BE AT THE REQUIRED FLOOR ELEVATION OR BE CONSTRUCTED OF WATERPROOF MATERIALS WITH PROPER VENTING IN 2 WALLS.
E. DETACHED GARAGES WITH PLUMBING MUST BE AT THE REQUIRED FLOOR ELEVATION.
F. CONSTRUCTION BENCHMARK MUST BE SET AT REQUIRED MINIMUM FLOOR ELEVATION OR GREATER. (ADD 1 FOOT FOR V-ZONES)

APPROVED FOR CITY BY: _____

1. CERTIFICATE OF CONSTRUCTION BENCHMARK

EXISTING TOP OF HIGHEST CURB ELEVATION 27.89' C.D. 7.46' N.A.V.D.
EXISTING HIGHEST CENTERLINE OF STREET 27.94' C.D. 7.51' N.A.V.D.
EXISTING LOT ELEVATIONS (PROPERTY CORNERS OR EDGE)
FRONT (RIGHT) 28.15' C.D. 7.72' N.A.V.D. FRONT (LEFT) 28.29' C.D. 7.86' N.A.V.D.
REAR (RIGHT) 28.15' C.D. 7.72' N.A.V.D. REAR (LEFT) 28.29' C.D. 7.86' N.A.V.D.
OTHER C.D. N.A.V.D.
DESCRIBE: _____
DESCRIPTION OF CONSTRUCTION BENCHMARK: 60d NAIL IN POWER POLE ON NEUTRAL GROUNDWALL ON SOUTH SIDE OF POLE.
ELEVATION OF CONSTRUCTION BENCHMARK: 30.89' C.D. 10.46' N.A.V.D. (SEE NOTE F.)
REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK: ALCO
ELEVATION OF REFERENCE BENCHMARK: 26.43' C.D. 6.0' N.A.V.D.

SIGNATURE: _____ DATE: October 18, 2011

(I.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)

2. CERTIFICATE OF TOP OF FORM OR TOP OF PIER ELEVATION

(To be submitted before pouring concrete for slab construction or framing floor for pier construction)

AS BUILT ELEVATIONS: FORM C.D. N.A.V.D. PIER C.D. N.A.V.D.

PIER CONSTRUCTION:

ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE TREATED FOR WATERPROOFING AND THE FIRST FLOOR MUST BE AT OR ABOVE THE MINIMUM FLOOR ELEVATION (B.F.E.)

V-ZONES ONLY:

BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER C.D. N.A.V.D.
(Must be submitted before framing begins)

SIGNATURE: _____ DATE: _____

(I.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)

3. FILLING, GRADING, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT

(To be submitted before Use & Occupancy Certificate can be issued)

THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS.

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: _____

(NOTARY)

IS LOT PROPERLY FILLED TO GRADE? YES NO
(minimum lot slope, rear to front, 1 inch every 20 feet)
ARE SIDEWALKS PROPERLY INSTALLED? YES NO
ARE DRIVEWAYS PROPERLY INSTALLED? YES NO
ARE RETAINING WALLS REQUIRED? YES NO
(If yes, then on which side(s) RIGHT LEFT REAR
ARE EQUIPMENT SLABS, SUCH AS A/C COMPRESSORS, AT MINIMUM FLOOR ELEVATION? YES NO
DO ATTACHED GARAGES IN A-ZONES, THAT ARE BELOW MINIMUM FLOOR ELEVATION, HAVE PROPER VENTING AND WATERPROOFING? YES NO N/A

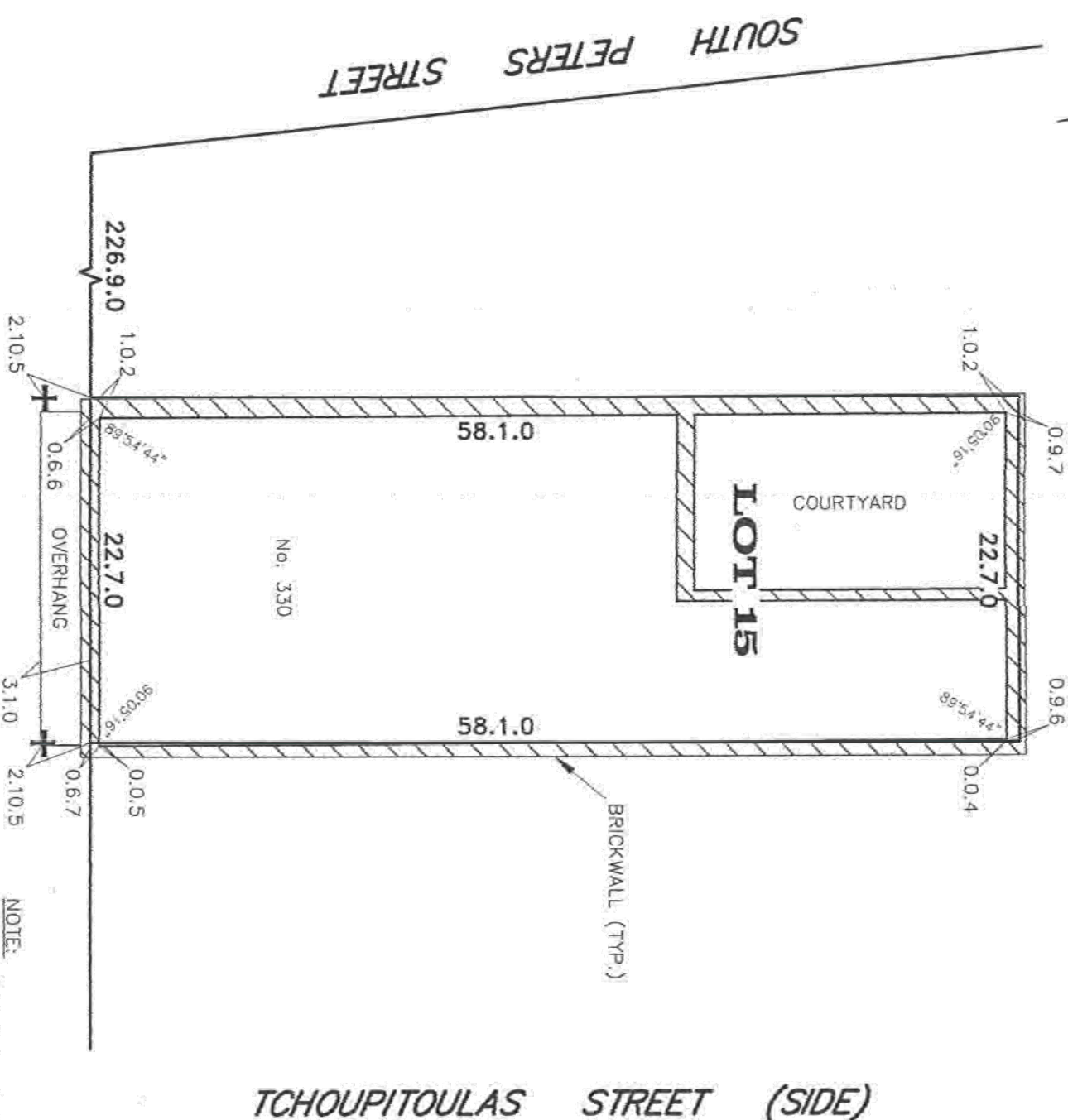
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(I.A. REGISTERED PROFESSIONAL CIVIL ENGINEER)

THE LATEST FEMA ELEVATION CERTIFICATION MUST ACCOMPANY PART 3 OF THIS FORM WHEN SUBMITTED TO THE DEPARTMENT OF SAFETY AND PERMITS.

9/06

BOUNDARY SURVEY OF
LOT 15
SQUARE 51
FIRST DISTRICT
ORLEANS PARISH, LA
HOWARD AVENUE (SIDE)



NOTE:
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

GENERAL NOTES

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1.
REFERENCE PLAN #1: A PLAN OF SURVEY BY RICHMOND W. KREBS, L.L.C. DATED JUNE 6, 2008
THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPLYING THE DATA FOR THIS SURVEY. THIS PERMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

ELEVATION NOTES

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED MARCH 1, 1984
FLOOD ZONE: B
COMMUNITY PANEL: 225203 0160 E
BASE FLOOD ELEVATION: N/A

R. W. KREBS, L.L.C.
PROFESSIONAL LAND SURVEYING
P.O. BOX 8641
METairie, LA 70014-8641
PHONE: (504) 889-9616
FAX: (504) 889-0916
E-MAIL: richmond@rwkrebs.com
WEB: www.rwkrebsllc.com

BY: _____
DATE: OCTOBER 24, 2011
SCALE: 1" = 10'
JOB #: 113995

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R.W. KREBS, L.L.C.

build
DESIGN

www.bildit.com

Grove Residence : Renovation

330 S. DIAMOND STREET
NEW ORLEANS, LA 70130

PERMIT SET



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SURVEY
project 11008
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do not scale drawings

2
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ELEVATION CERTIFICATE
NTS

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SURVEY
NTS

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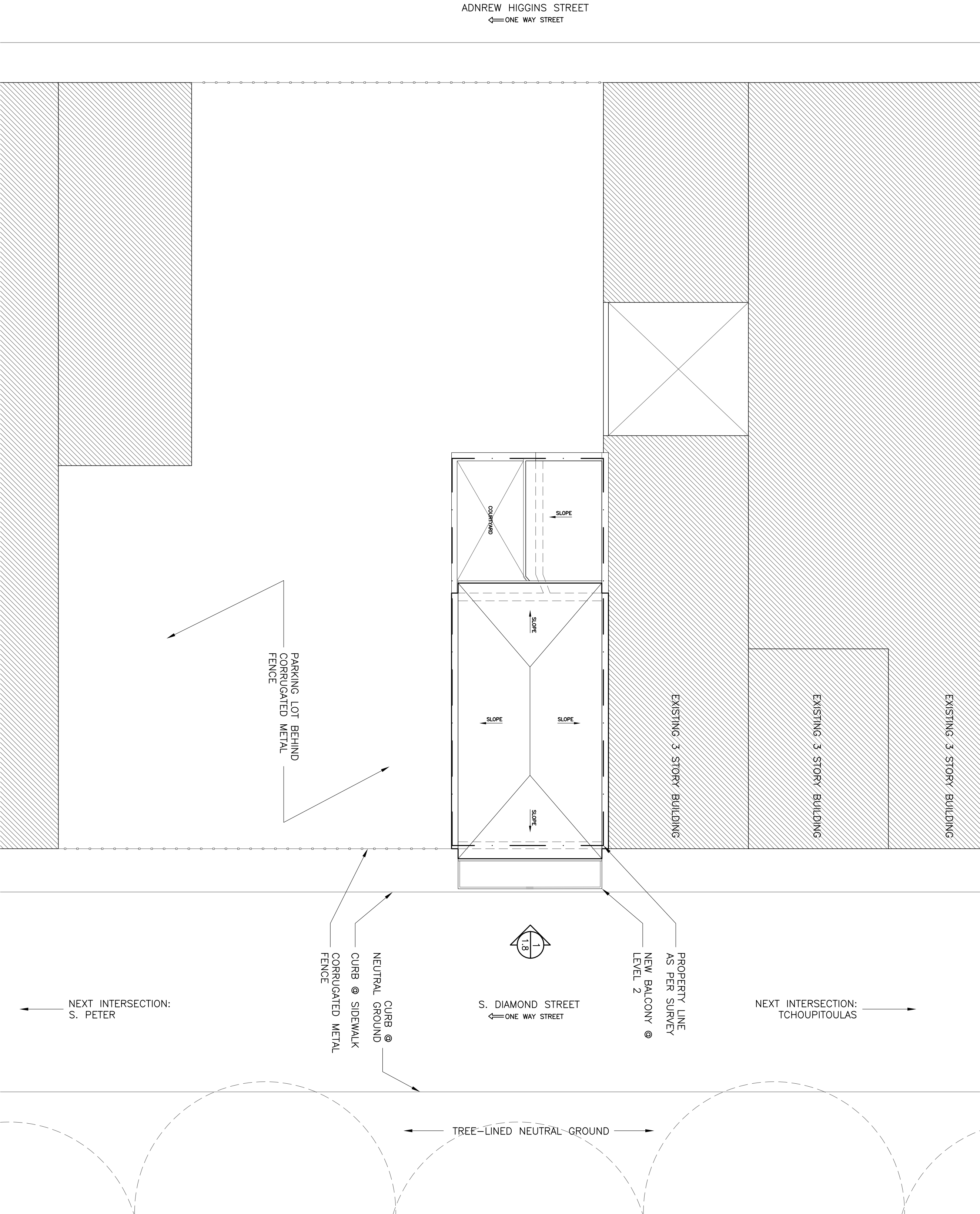
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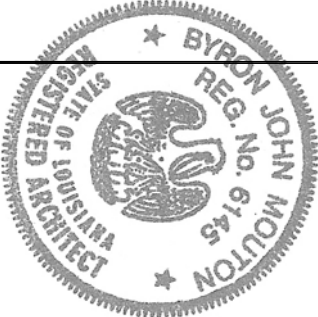
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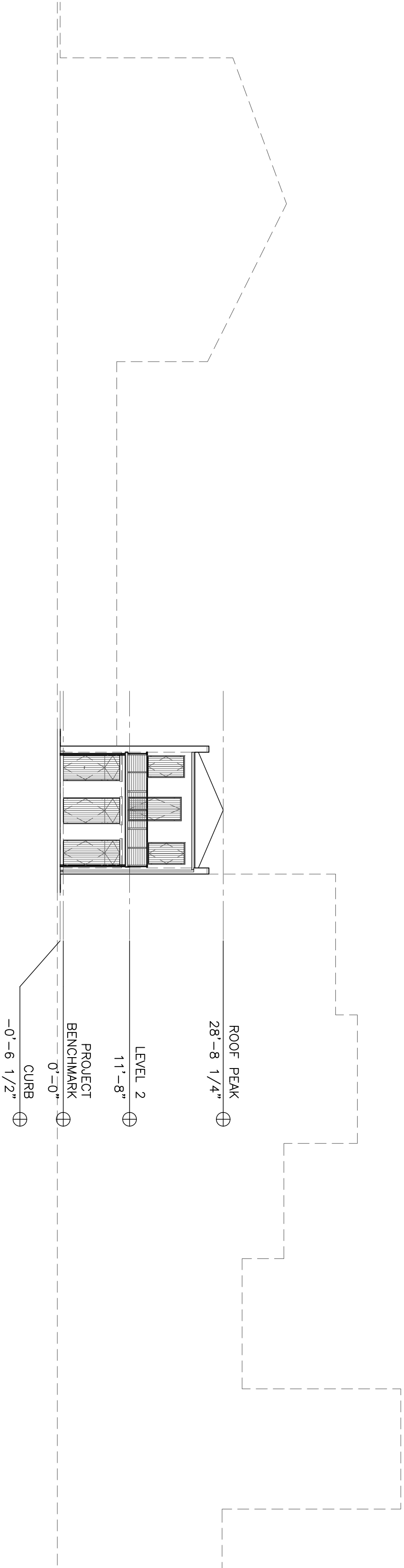
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2 PROPOSED S. DIAMOND STREET ELEVATION
1/16"=1'-0"

330 S. DIAMOND STREET



1 S. DIAMOND STREET ELEVATION
1.7/1.8 NTS

- GENERAL NOTES:
1. DUE TO THE NATURE OF THIS RENOVATION, ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
 2. MATERIALS ARE TO BE SALVAGED WHERE POSSIBLE.
 3. ALL DOORS AND WINDOWS ARE TO BE REMOVED (UNLESS OTHERWISE NOTED) AND SALVAGED WHEN POSSIBLE.



59'-5 1/2"



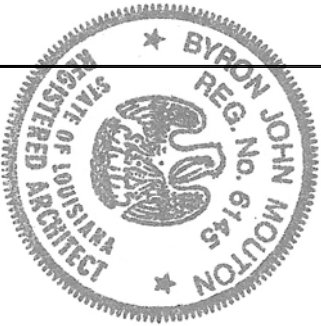
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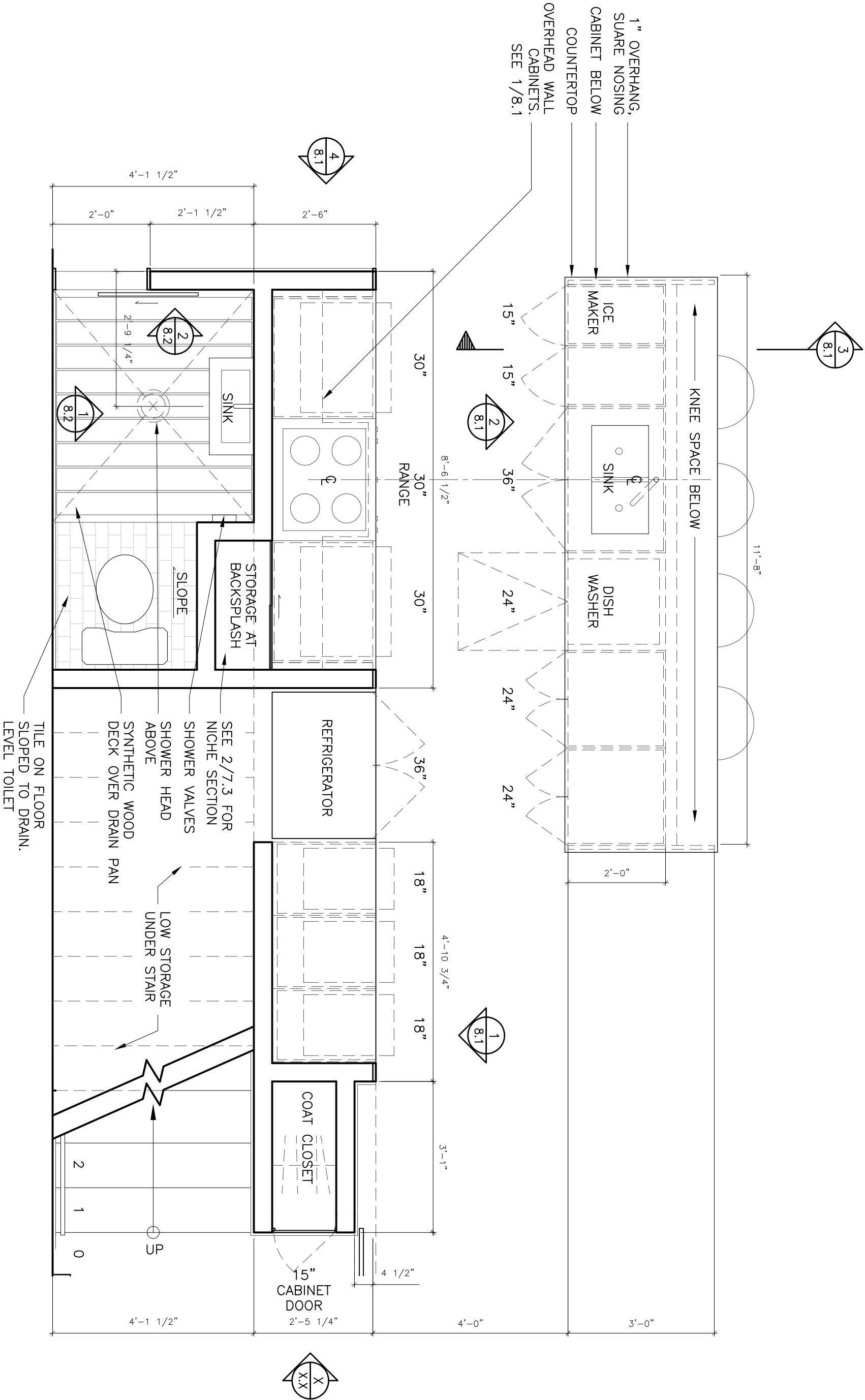
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ENLARGED MASTER BATH PLAN
 1/2"=1'-0"

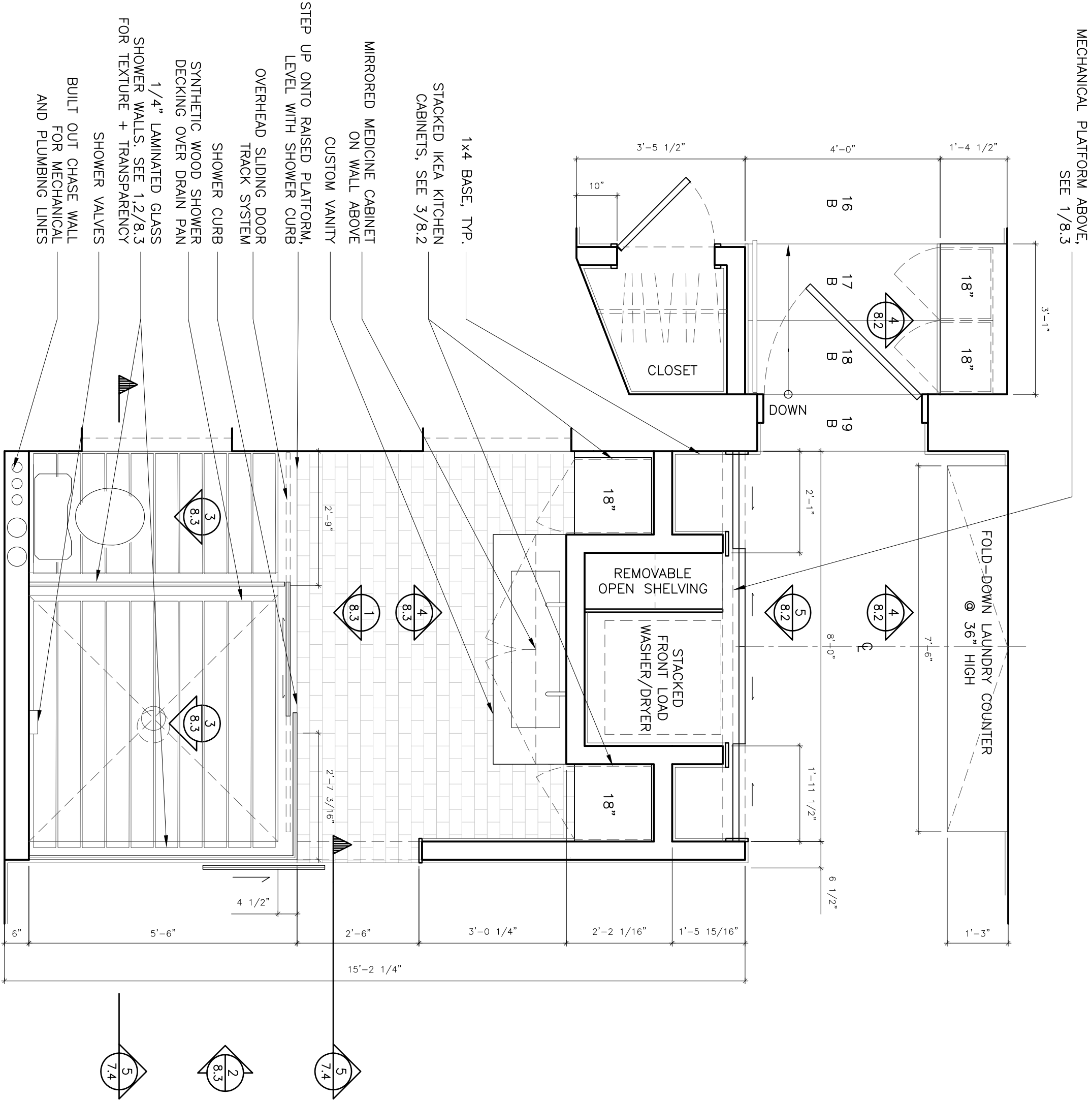
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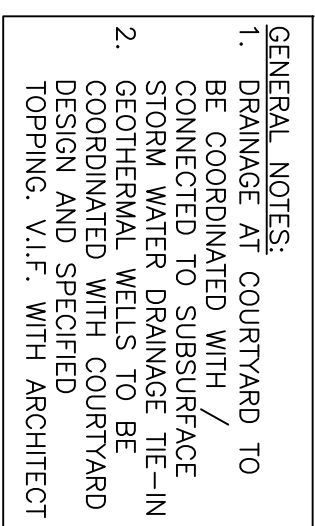
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2.1 | 2.6
ENLARGED MASTER BATH PLAN
1/2"=1'-0"

330 S. DIAMOND STREET
NEW ORLEANS, LA 70130



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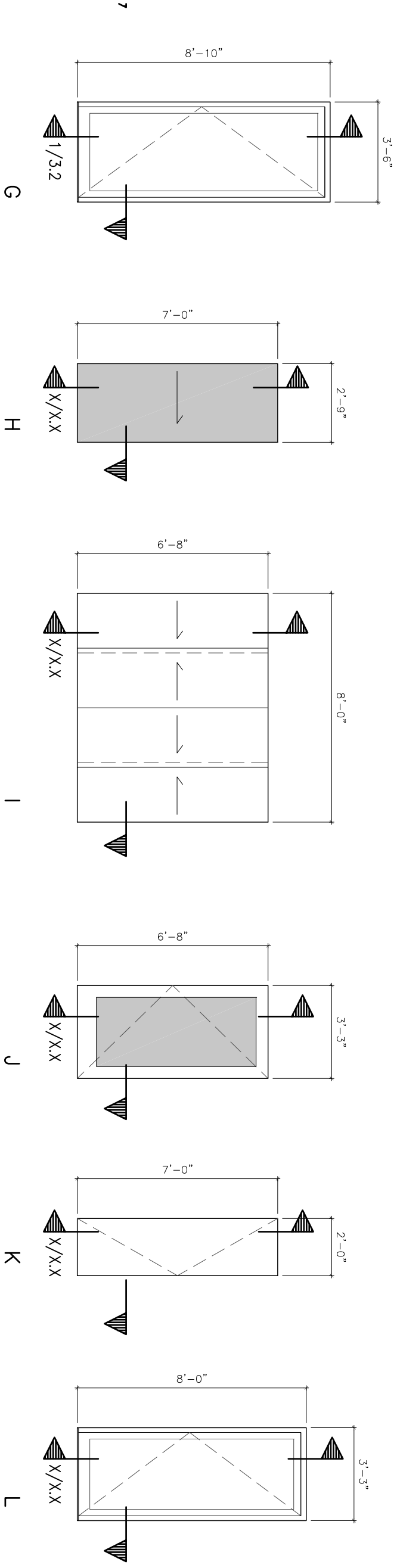
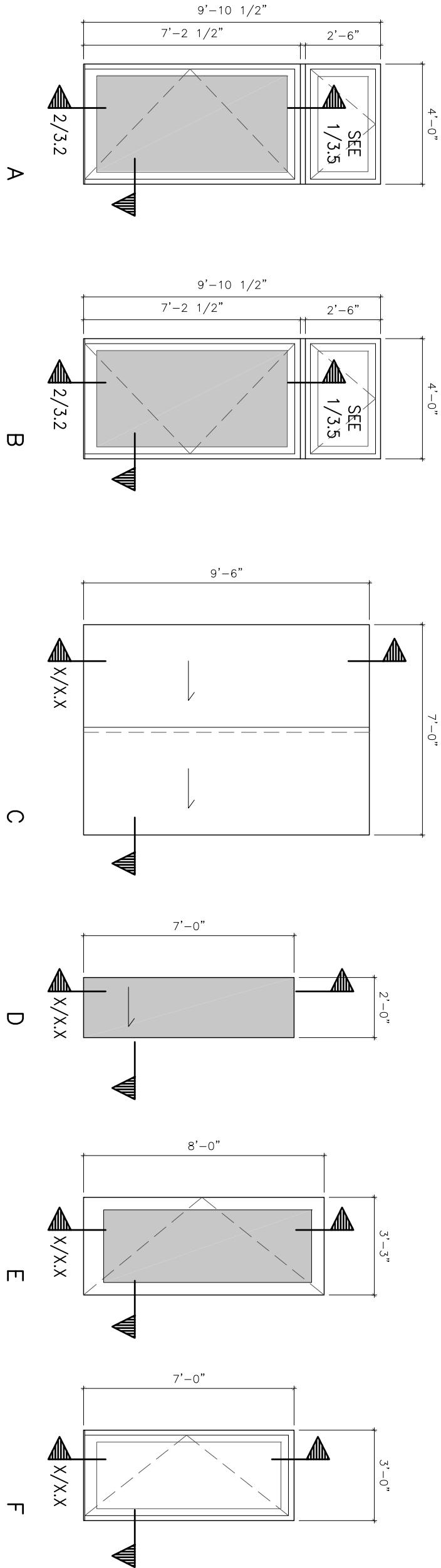
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DOOR SCHEDULES

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3.1 | 3.1 DOOR ELEVATIONS
1/4"=1'-0"



DOOR SCHEDULE					MATERIAL			NOTES		
#	ROOM	TO	SIZE W X H	TRANSOM W X H	ROUGH OPENING	INT	EXT	MANUFACTURER	MODEL	GLAZING
1	A	SIDEWALK	ENTRY	4'-0"x7'-0"	SEE 1/3.5	V.I.F.	ANODIZED ALUMINUM	TBD	EXTERIOR, IN-SWING, HINGED W/ TRANSOM	GLAZING REMOVED + REPLACE W/ METAL
2	A	SIDEWALK	LIVING ROOM	4'-0"x7'-0"	SEE 1/3.5	V.I.F.	ANODIZED ALUMINUM	TBD	EXTERIOR, IN-SWING, HINGED W/ TRANSOM	TEMPERED, FROSTED
3	B	SIDEWALK	LIVING ROOM	4'-0"x7'-1"	SEE 1/3.5	V.I.F.	ANODIZED ALUMINUM	TBD	EXTERIOR, IN-SWING, HINGED W/ TRANSOM	TEMPERED, FROSTED
4	C	ENTRY	LIVING ROOM	7'-0"x10'-3"	-	V.I.F.	MASONITE		CEILING MOUNT SLIDER SET INTO DROPPED HEADER	-
5	D	DINING ROOM	GUEST BATHROOM	2'-0"x7'-0"	-	V.I.F.	TEMPERED GLASS	TBD	SURFACE MOUNT SLIDER	TEMPERED, FROSTED
6	L	DINING ROOM/ KITCHEN	COURTYARD	3'-3"x8'-0"	-	V.I.F.	ANODIZED ALUMINUM	TBD	EXTERIOR HINGED	TEMPERED
7	E	DINING ROOM	GUEST BEDROOM #1	3'-3"x8'-0"	-	V.I.F.	FIBERGLASS	TBD	HINGED	TEMPERED, FROSTED
8	F	GUEST BEDROOM #1	COURTYARD	3'-0"x7'-0"	-	V.I.F.	ANODIZED ALUMINUM	TBD	EXTERIOR HINGED	TEMPERED
9	G	MASTER BEDROOM	FRONT BALCONY	3'-6"x8'-10"	-	V.I.F.	ANODIZED ALUMINUM	TBD	EXTERIOR IN-SWING, HINGED	TEMPERED
10	H	MASTER BEDROOM	MASTER BATHROOM	2'-9"x7'-0"	-	V.I.F.	TEMPERED GLASS	TBD	SURFACE MOUNT SLIDER	TEMPERED, FROSTED
11	I	MASTER BEDROOM	LAUNDRY CLOSET	8'-0"x6'-8"	-	V.I.F.	MASONITE	TBD	4 PANEL, WALL-MOUNT SLIDER	-
12	J	MASTER BEDROOM	GUEST BEDROOM #2	3'-3"x6'-8"	-	V.I.F.	FIBERGLASS	TBD	HINGED	TEMPERED, FROSTED
13	K	GUEST BEDROOM #2	CLOSET	2'-0"x7'-0"	-	V.I.F.	MASONITE	TBD	HINGED	-
14	H	MASTER BATHROOM	TOILET STALL	2'-9"x7'-0"	-	V.I.F.	TEMPERED GLASS	TBD	SURFACE MOUNT SLIDER	TEMPERED, FROSTED

- GENERAL NOTES:
- DUE TO THE NATURE OF THIS RENOVATION, ALL ROUGH OPENINGS + DOOR SIZES ARE TO BE VERIFIED IN FIELD, AND ARE TO BE COORDINATED WITH DOOR SYSTEMS AND DETAILS SELECTED FOR PROJECT.
 - ALL CUSTOM DOOR SHOP DRAWINGS ARE TO BE APPROVED BY OWNER AND ARCHITECT BEFORE PRODUCTION
 - DOOR GLAZING SHALL COMPLY WITH 2009 IFC R301.2.1.2. DOOR GLAZING SHALL BE TESTED FOR 130 MPH WIND SPEED, OR DOORS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND-BORN DEBS. EXCEPTION, 1/2" PLYWOOD PANELS SHALL BE PROVIDED FOR ALL GLAZED OPENINGS WITH ATTACHMENT HARDWARE.
 - ALL EXTERIOR GLAZING TO BE LOW-E, TRIPLE GLAZED.
 - ANODIZED ALUMINUM TO BE #4 MILL FINISH OR APPROVED EQUAL.

Grove Residence : Renovation

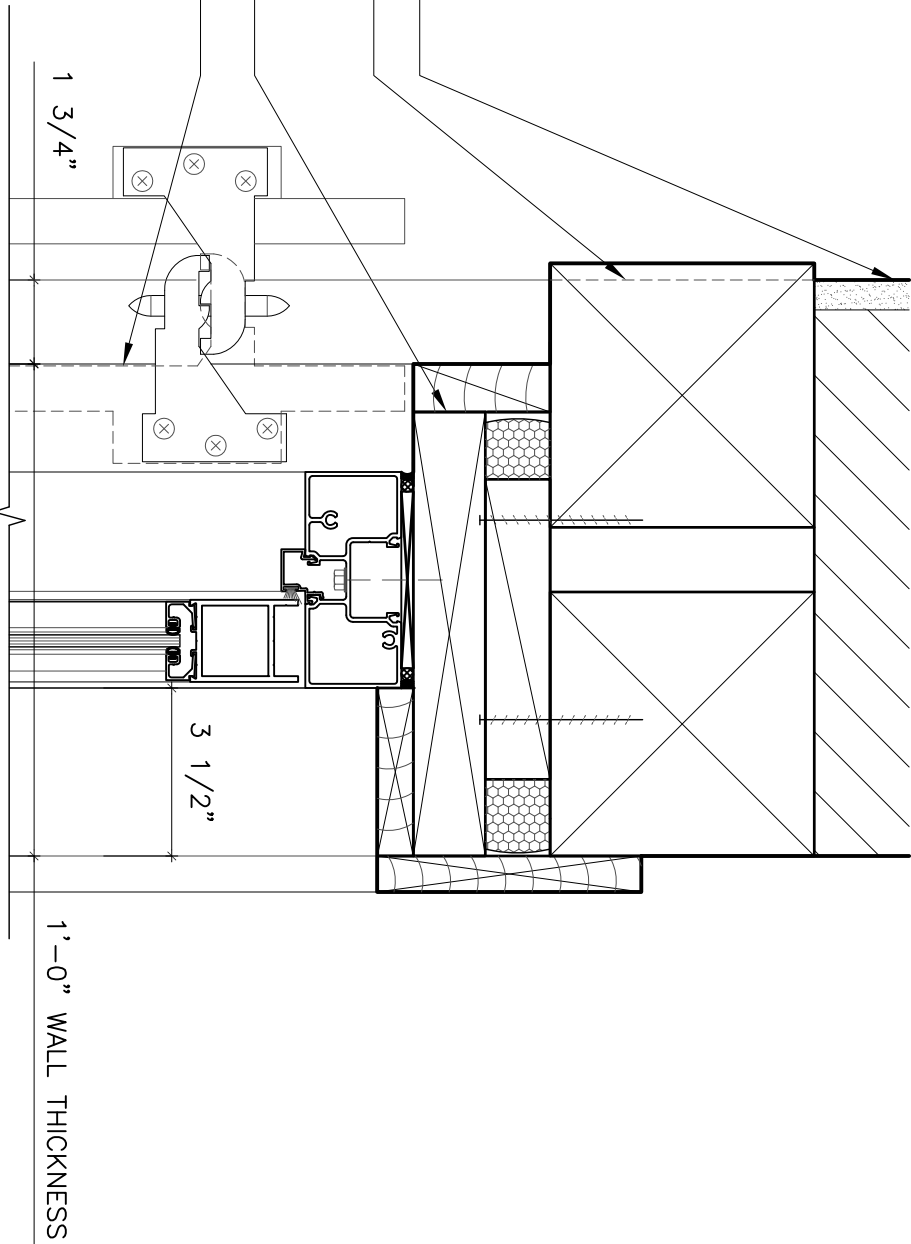
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drawn by:	moulton
	soniat
drawing title	DOOR DETAILS
project	11008
sheet	3.2

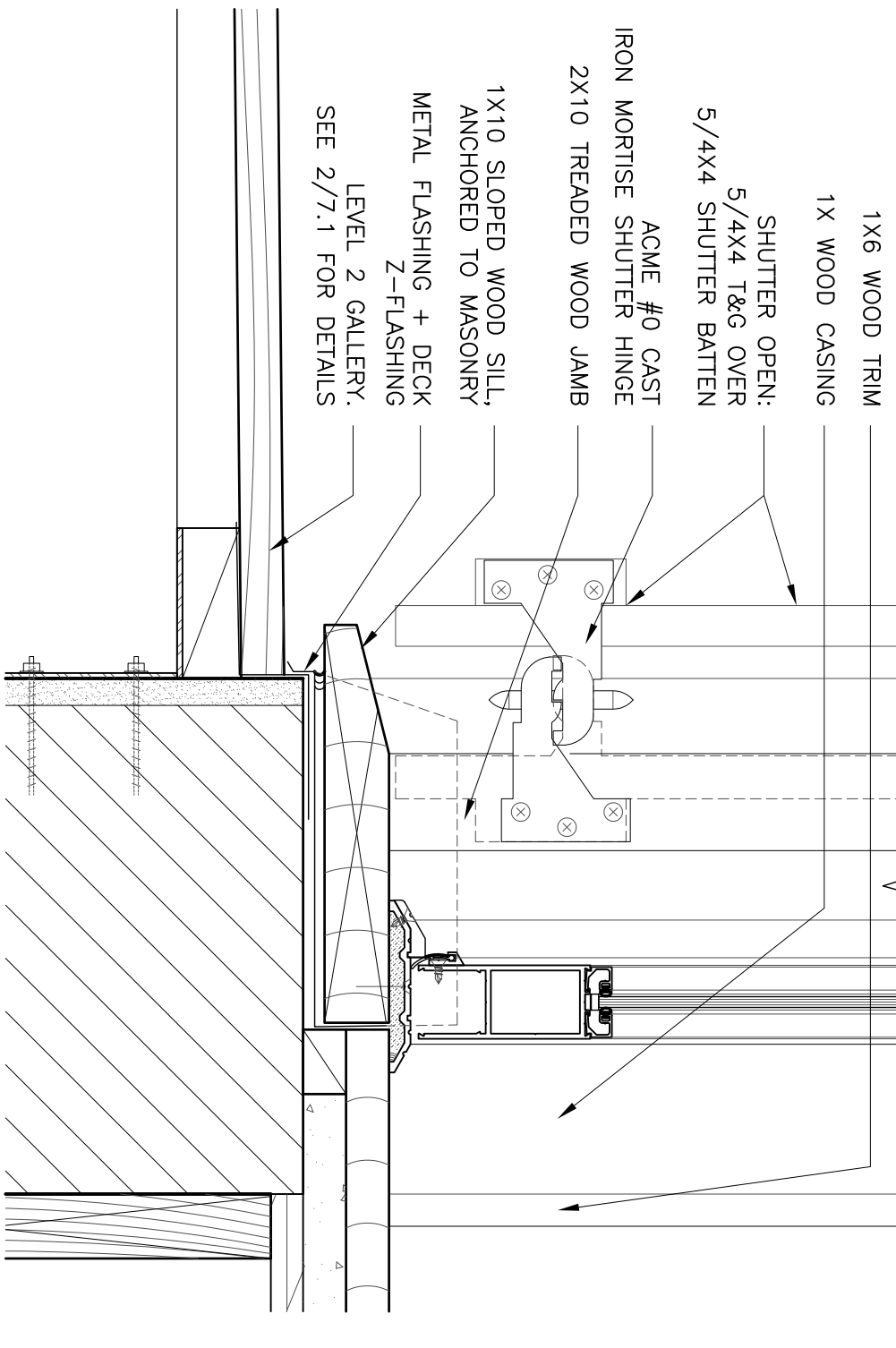
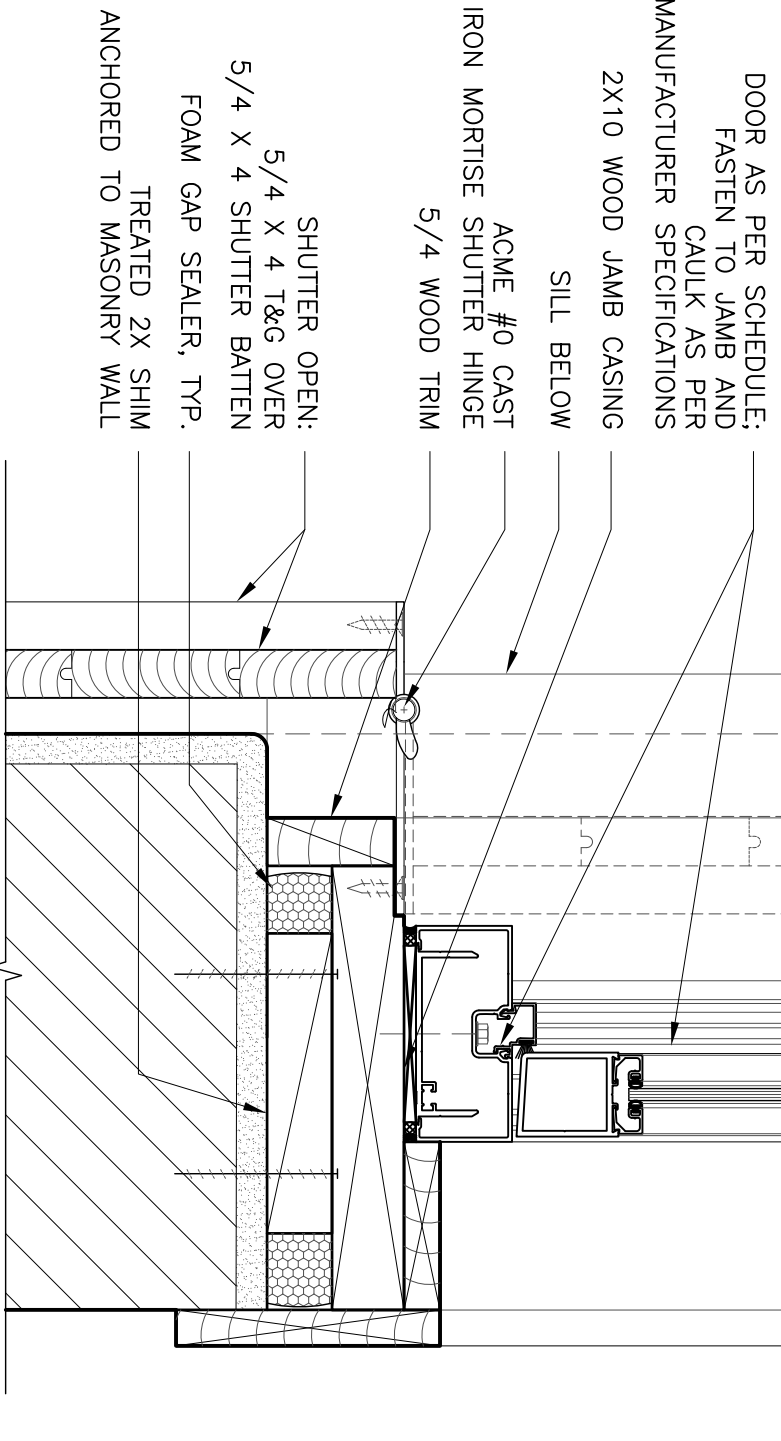
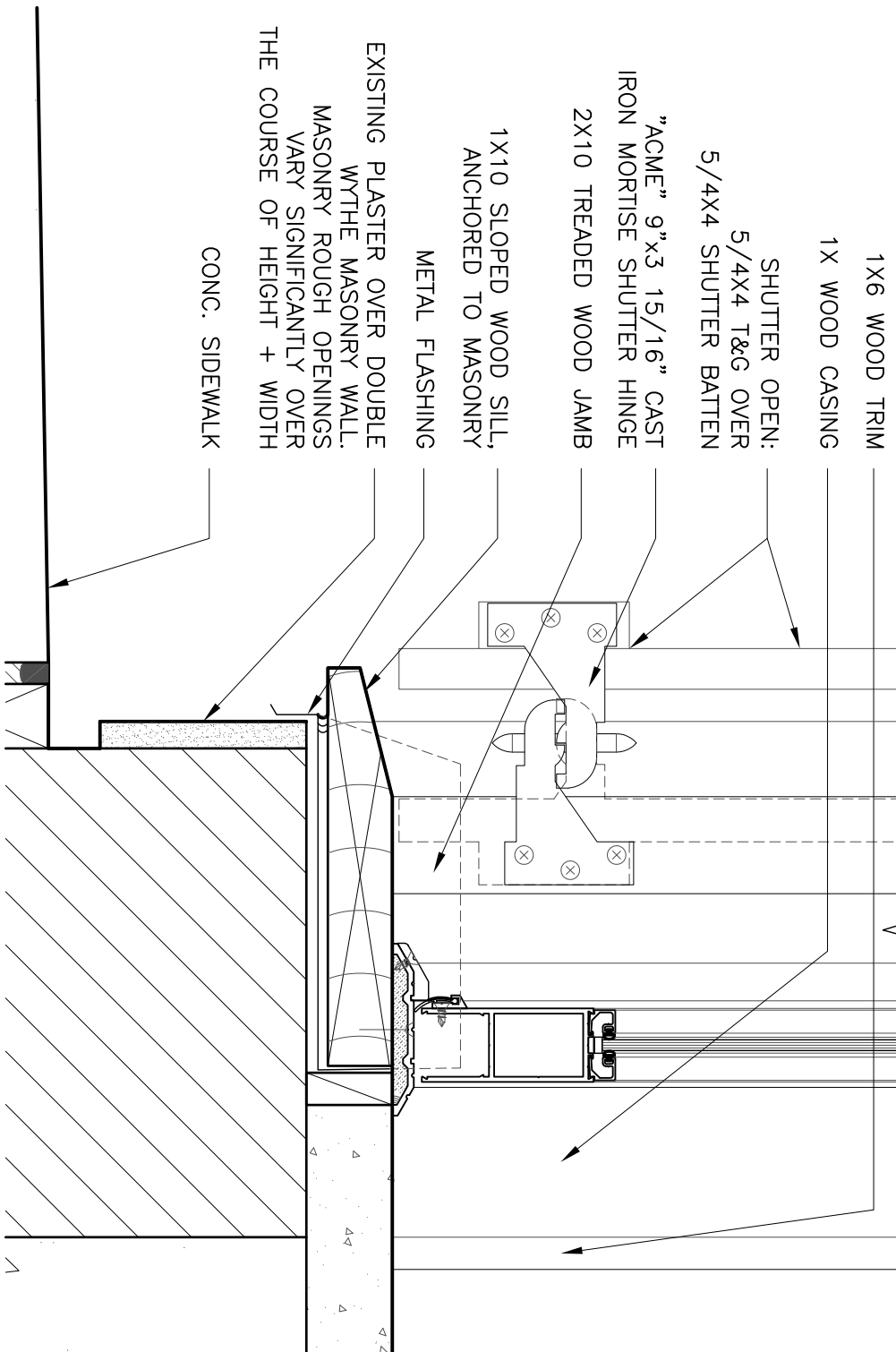
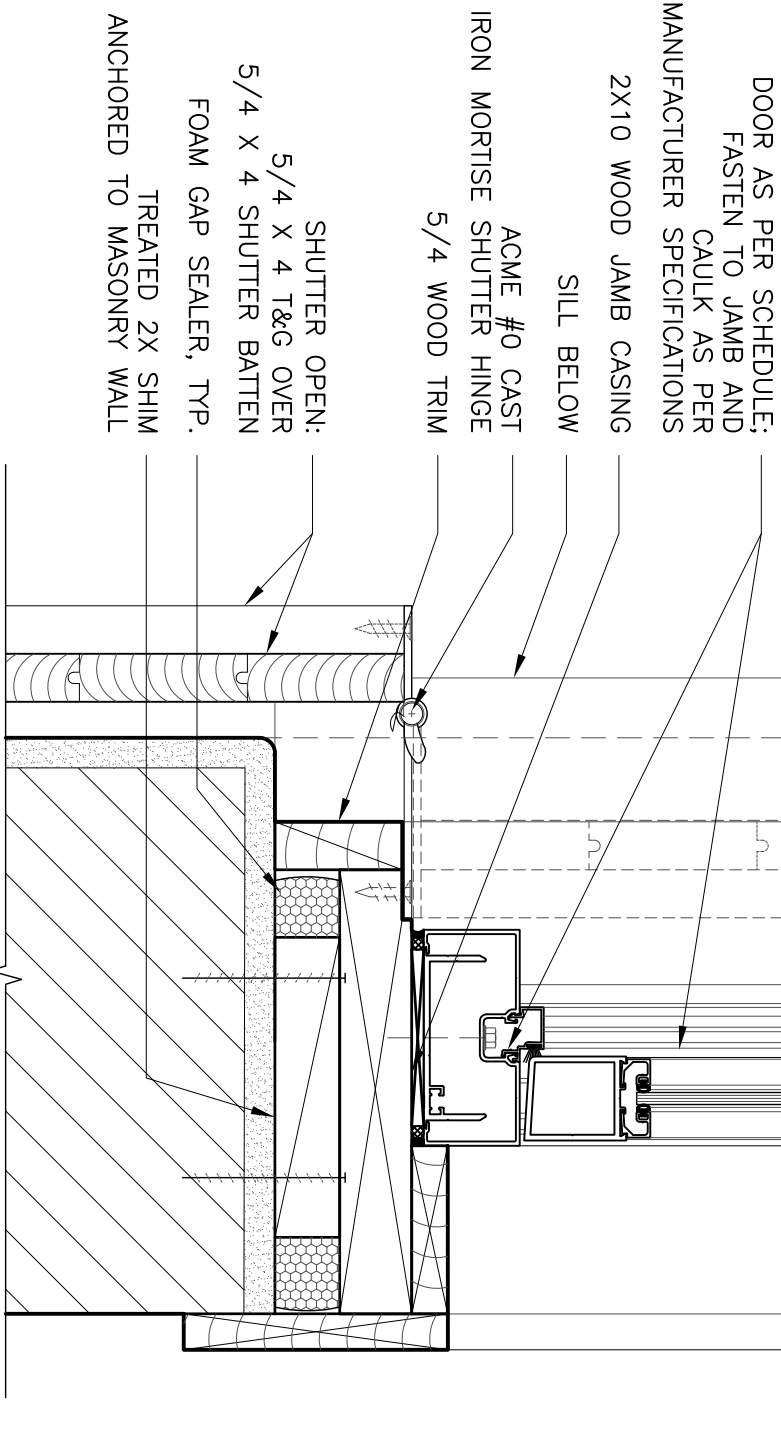
- NOTES:
1. REFER TO PLANS (1.2/2.1) AND ELEVATIONS (1/5.1) FOR SHUTTER LOCATIONS

2. NOT ALL DOORS ARE SHUTTERED



AWNING WINDOW ABOVE
AS PER SCHEDULE
TRANSOM AND DOOR MULLED
TOGETHER AS PER SPECIFICATIONS
STORM SHUTTER
(DASHED, SHOWN CLOSED)

SEE 2/3.6



Grove Residence : Renovation

330 S. DIAMOND STREET
 NEW ORLEANS, LA 70130

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revision

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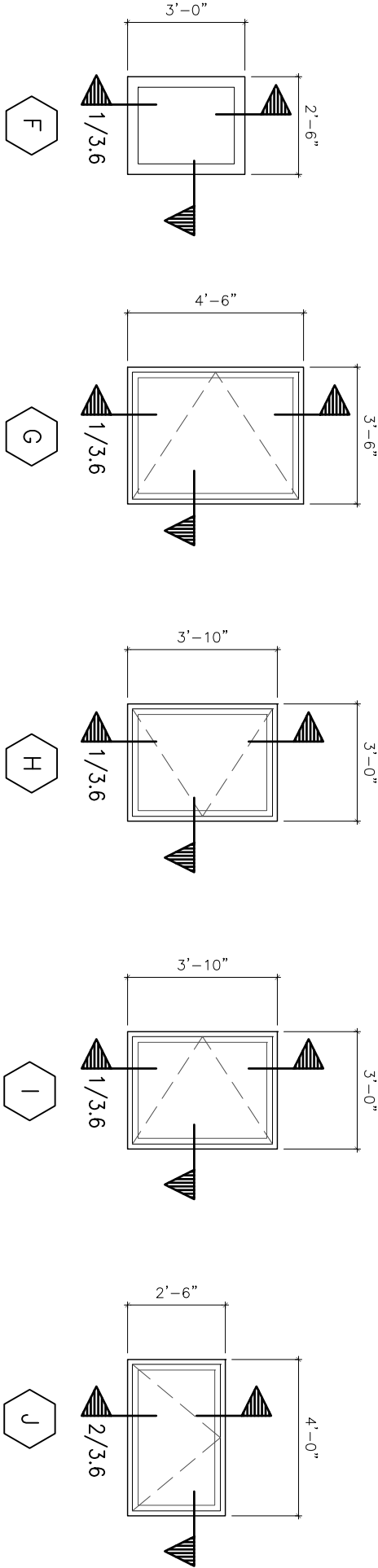
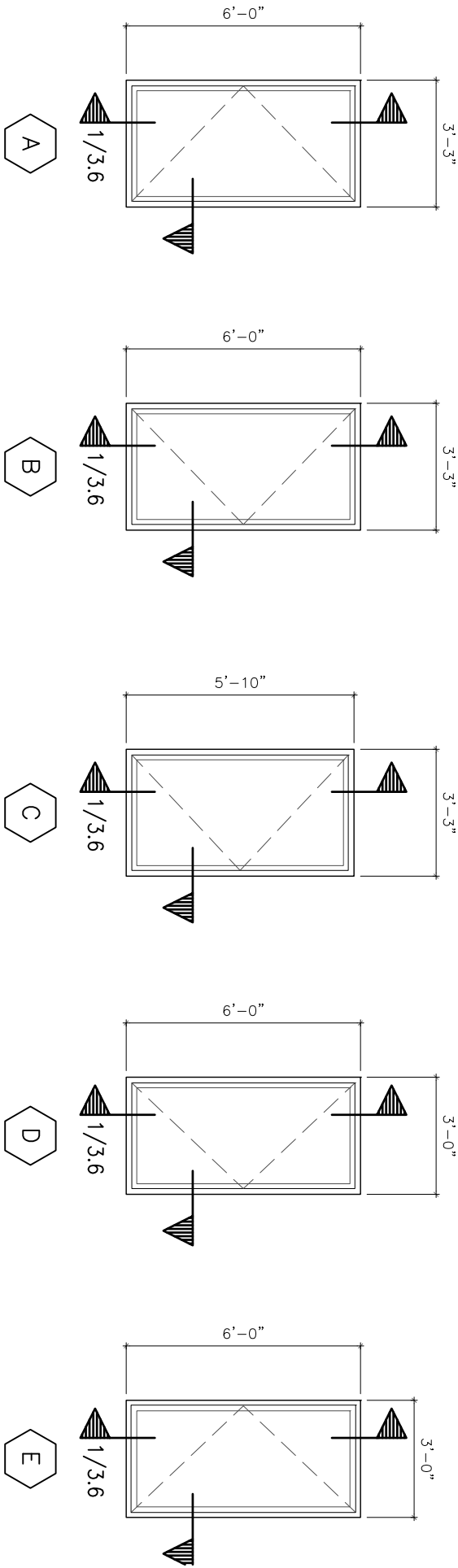
soniat

drawing title

WINDOW SCHEDULES

project 11008

sheet



WINDOW SCHEDULE

#	ROUGH OPENING		MATERIAL		MANUFACTURER	MODEL	GLAZING	HW	NOTES	QUANTITY
	UNIT DIM (WxH)	TRANSOM DIM (WxH)	W	H	INT	EXT				
A	3'-3"x6'-0"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	IN-SWING CASEMENT	SEE GENERAL NOTES	2
B	3'-3"x6'-0"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	IN-SWING CASEMENT	SEE GENERAL NOTES	1
C	3'-3"x5'-10"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	IN-SWING CASEMENT	SEE GENERAL NOTES	1
D	3'-0"x6'-0"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	OUT-SWING CASEMENT	SEE GENERAL NOTES	1
E	3'-0"x6'-0"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	FIXED	SEE GENERAL NOTES	1
F	2'-6"x3'-0"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	FIXED	SEE GENERAL NOTES	1
G	3'-6"x4'-6"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	OUT-SWING CASEMENT	SEE GENERAL NOTES	1
H	3'-0"x3'-10"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	OUT-SWING CASEMENT	SEE GENERAL NOTES	1
I	3'-0"x3'-10"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	OUT-SWING CASEMENT	SEE GENERAL NOTES	2
J	4'-0"x1'-9"	-	V.I.F.	V.I.F.	ANODIZED ALUMINUM	ANODIZED ALUMINUM	T.B.D.	OUT-SWING AWNING	SEE GENERAL NOTES	3

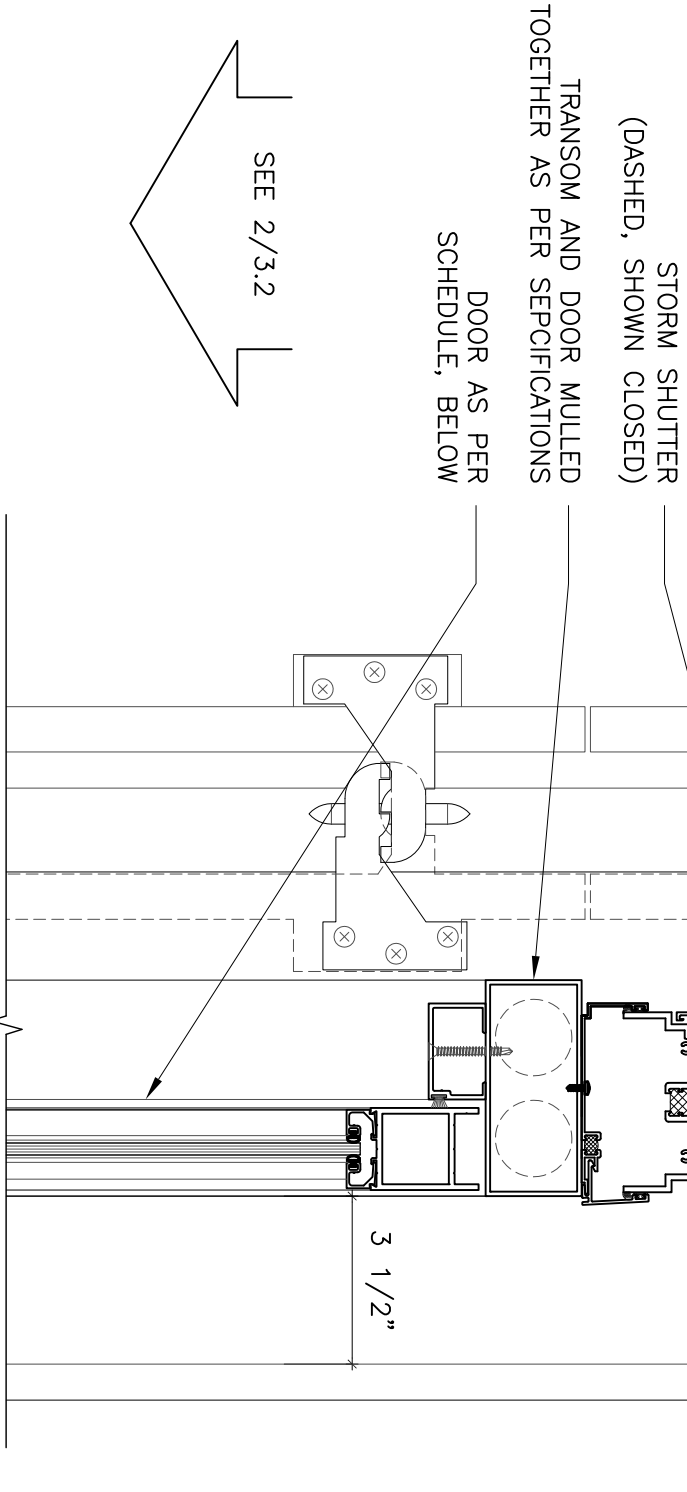
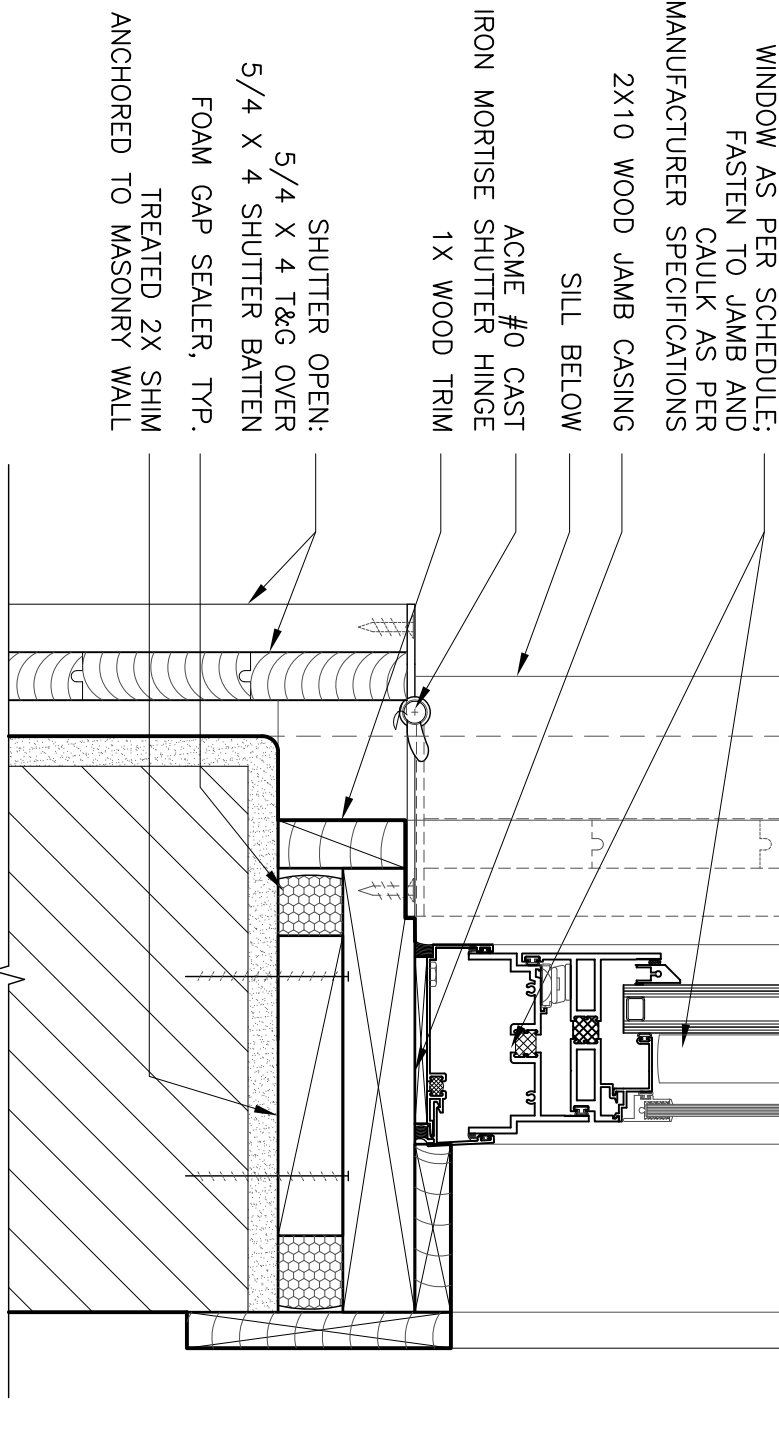
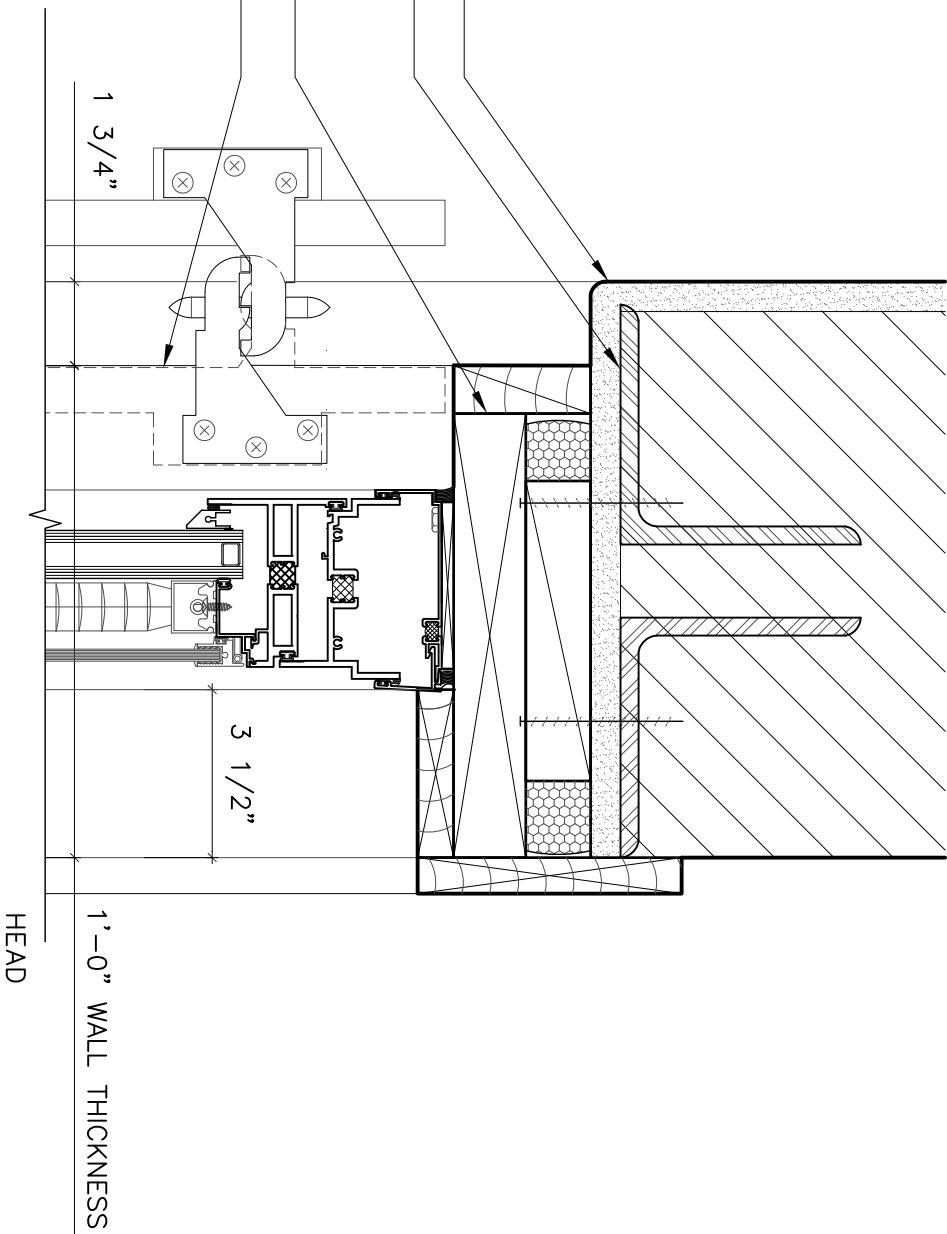
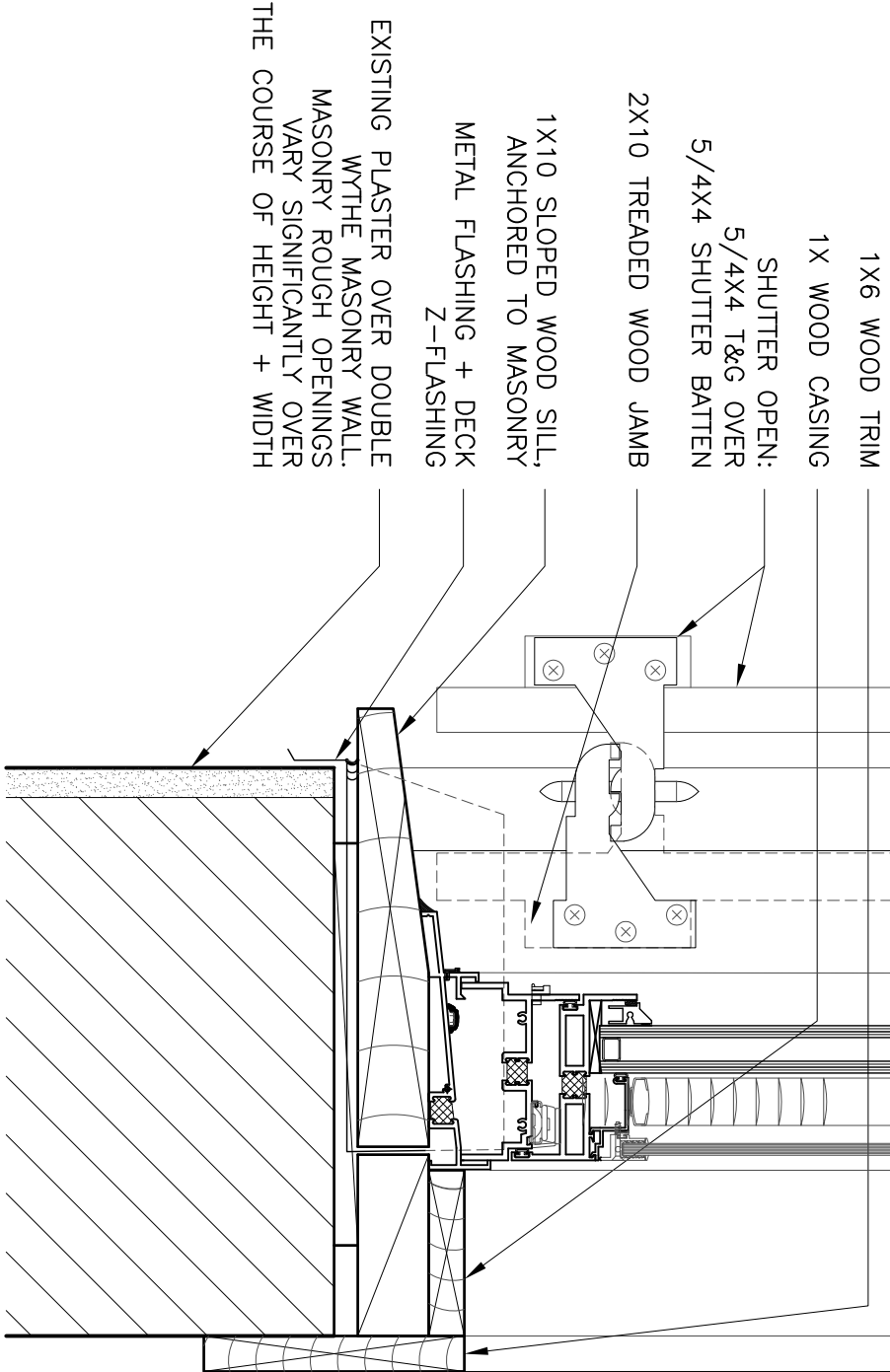
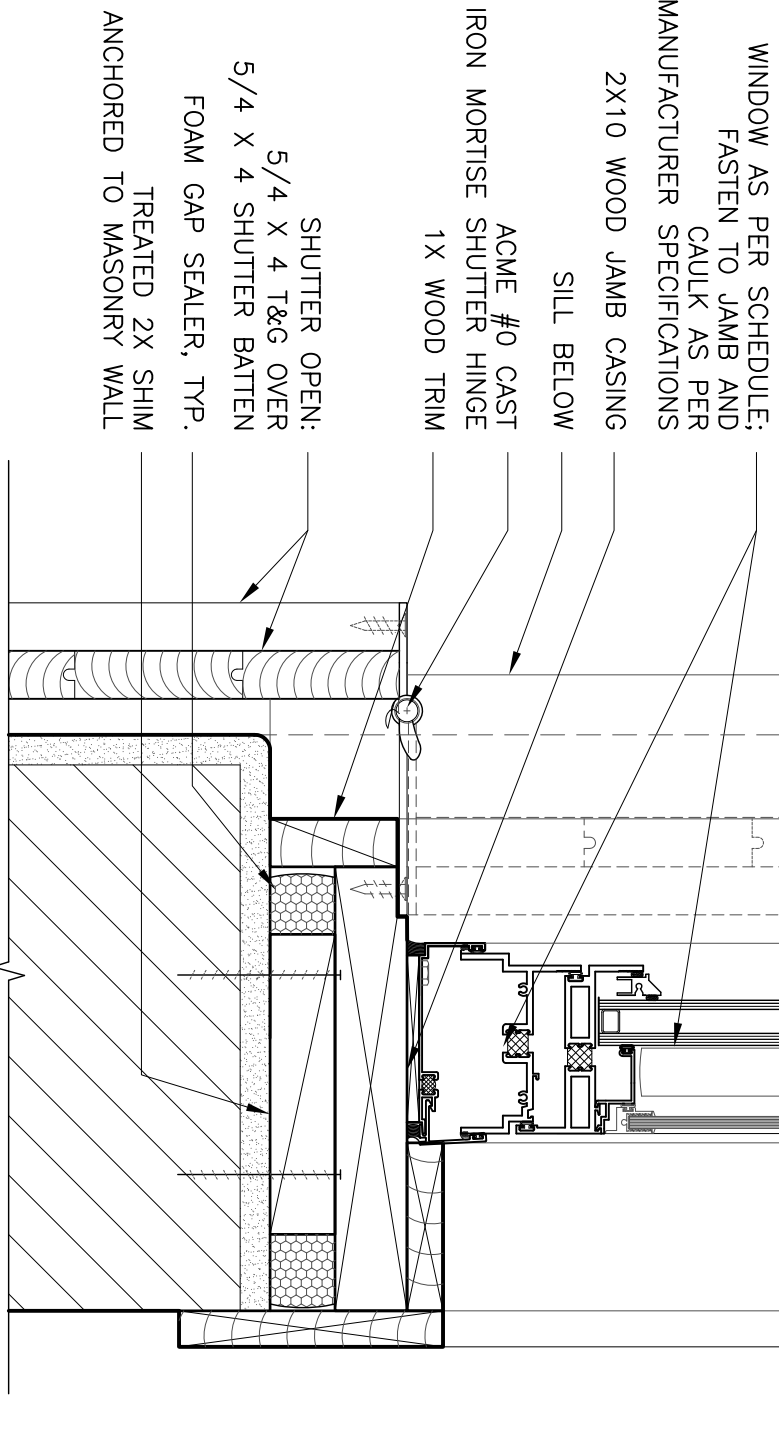
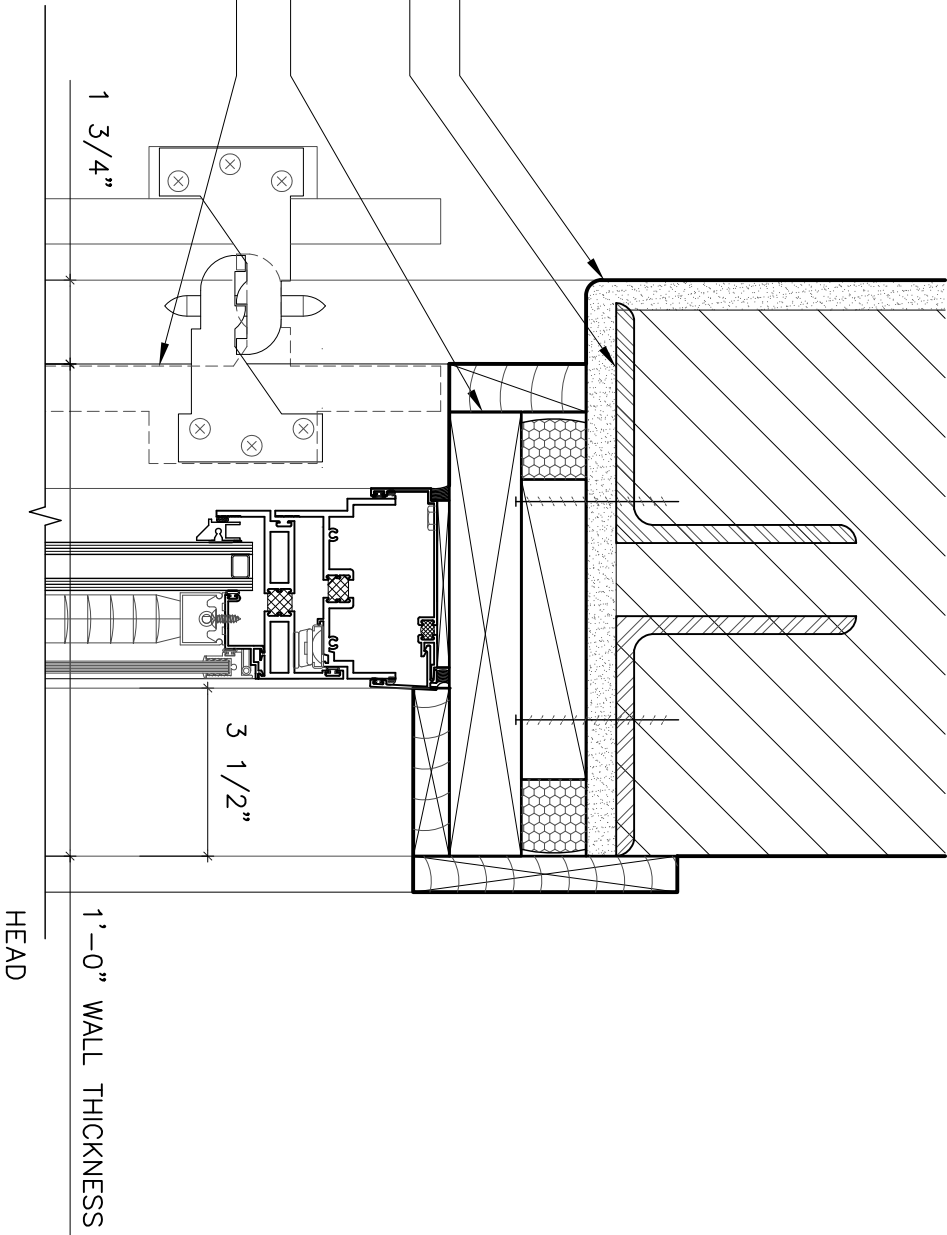
GENERAL NOTES:

1. DUE TO THE NATURE OF THIS RENOVATION, ALL ROUGH OPENINGS + WINDOW SIZES ARE TO BE VERIFIED IN FIELD, AND ARE TO BE COORDINATED WITH WINDOW SYSTEMS AND DETAILS SELECTED FOR PROJECT.
2. ALL CUSTOM WINDOW SHOP DRAWINGS ARE TO BE APPROVED BY OWNER AND ARCHITECT BEFORE PRODUCTION
3. CONFIRM ALL SCHEDULE DATA WITH WINDOW ELEVATIONS
4. WINDOWS SHALL COMPLY WITH 2009 IRC R301.2.1.2. WINDOWS SHALL BE TESTED FOR 130 MPH WIND SPEED, OR WINDOWS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND-BORN DEBS. EXCEPTION: 1/2" PLYWOOD PANELS SHALL BE PROVIDED FOR ALL WINDOW OPENINGS WITH ATTACHMENT HARDWARE.
5. ALL EXTERIOR GLAZING TO BE LOW-E, TRIPLE GLAZED.
6. ANODIZED ALUMINUM TO BE #4 MILL FINISH OR APPROVED EQUAL.



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- NOTES:
1. REFER TO PLANS (1.2/2.1) AND ELEVATIONS (1/5.1) FOR SHUTTER LOCATIONS
 2. NOT ALL DOORS ARE SHUTTERED



Grove Residence : Renovation

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SCHEDULES	
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sheet	
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PLUMBING FIXTURE SCHEDULE					
ROOM	FIXTURE	MANUFACTURER	MODEL #	FINISH	NOTES
KITCHEN	SINK				PROVIDED BY OWNER
KITCHEN	SINK FAUCET				PROVIDED BY OWNER
GUEST BATH	SHOWER HEAD				PROVIDED BY OWNER
GUEST BATH	SHOWER VALVES				PROVIDED BY OWNER
GUEST BATH	SINK				PROVIDED BY OWNER
GUEST BATH	SINK FAUCET				PROVIDED BY OWNER
GUEST BATH	TOILET				PROVIDED BY OWNER
COURTYARD	FREESTANDING SHOWER				PROVIDED BY OWNER
MASTER BATHROOM	SINK				PROVIDED BY OWNER
MASTER BATHROOM	SINK FAUCET (x2)				PROVIDED BY OWNER
MASTER BATHROOM	SHOWER HEAD				PROVIDED BY OWNER
MASTER BATHROOM	SHOWER VALVE				PROVIDED BY OWNER
MASTER BATHROOM	HAND SHOWER				PROVIDED BY OWNER
MASTER BATHROOM	TOILET				PROVIDED BY OWNER

- NOTES
1. ALL FIXTURES TO BE SELECTED BY OWNER AND ARCHITECT BEFORE INSTALLATION

2. ALL FIXTURES TO COORDINATED WITH PLANS, AND INTERIOR ELEVATIONS

APPLIANCE + EQUIPMENT SCHEDULE					
#	ROOM	APPLIANCE	MANUFACTURER	MODEL #	DIMENSIONS W X H X D
	KITCHEN	36" REFRIGERATOR			PROVIDED BY OWNER
	KITCHEN	30" SLIDE-IN RANGE			PROVIDED BY OWNER
	KITCHEN	VENTILATION HOOD			PROVIDED BY OWNER
	KITCHEN	DISHWASHER			PROVIDED BY OWNER
	KITCHEN	ICE MAKER			PROVIDED BY OWNER

- NOTES
1. ALL APPLIANCES TO BE SELECTED BY OWNER AND ARCHITECT BEFORE INSTALLATION

2. ALL APPLIANCES TO COORDINATED WITH PLANS, AND INTERIOR ELEVATIONS

#	ROOM	HEIGHT	FINISH	WALLS				CEILING	BASE	NOTES
			FLOOR	NORTH	EAST	SOUTH	WEST			
1	ENTRY	10'-6"	FINISH CONC.	SEALED MASONRY	SEALED MASONRY			PAINTED GYP. BOARD		
2	LIVING ROOM	10'-3"	FINISH CONC.	SEALED MASONRY			SEALED MASONRY	EXPOSED JOISTS		
3	KITCHEN	10'-3"	FINISH CONC.				SEALED MASONRY	EXPOSED JOISTS		
4	DINING ROOM	10'-3"	FINISH CONC.			SEALED MASONRY	SEALED MASONRY	EXPOSED JOISTS/PTD. GYP. BOARD		
5	GUEST BATHROOM	8'-0"	TILE		SEALED MASONRY			PAINTED GYP. BOARD		SEE 2.5, 8.1 FOR TILE LAYOUT; PROVIDED BY OWNER
6	GUEST BEDROOM #1	8'-5"	FINISH CONC.	SEALED MASONRY	SEALED MASONRY	SEALED MASONRY	SEALED MASONRY	PAINTED GYP. BOARD		
7	COURTYARD	-	SEE 2/7.5							
8	MASTER BEDROOM	11'-3"	WOOD FLOOR OVER LEVEL TOPPING	SEALED MASONRY	SEALED MASONRY	PAINTED GYP. BOARD	SEALED MASONRY	PAINTED GYP. BOARD		
9	MASTER BATHROOM	11'-3"	TILE	GLASS	T+G TEAK OR EQUIVALENT	SEALED MASONRY	PAINTED GYP. BOARD	PAINTED GYP. BOARD		SEE 2.6, 8.2, 8.3 FOR TILE LAYOUT; PROVIDED BY OWNER
10	GUEST BEDROOM #2	VARIES	WOOD FLOOR OVER LEVEL TOPPING	PAINTED GYP. BOARD	SEALED MASONRY	SEALED MASONRY	SEALED MASONRY	PAINTED GYP. BOARD		

- NOTES
1. TILE= FLOOR-DALTILE 0790 MATTE ARCTIC WHITE 3X6; WALLS-DALTILE 0790 MATTE ARCTIC WHITE (60%) 3X6; DALTILE K101 WHITE (40%) 3X6

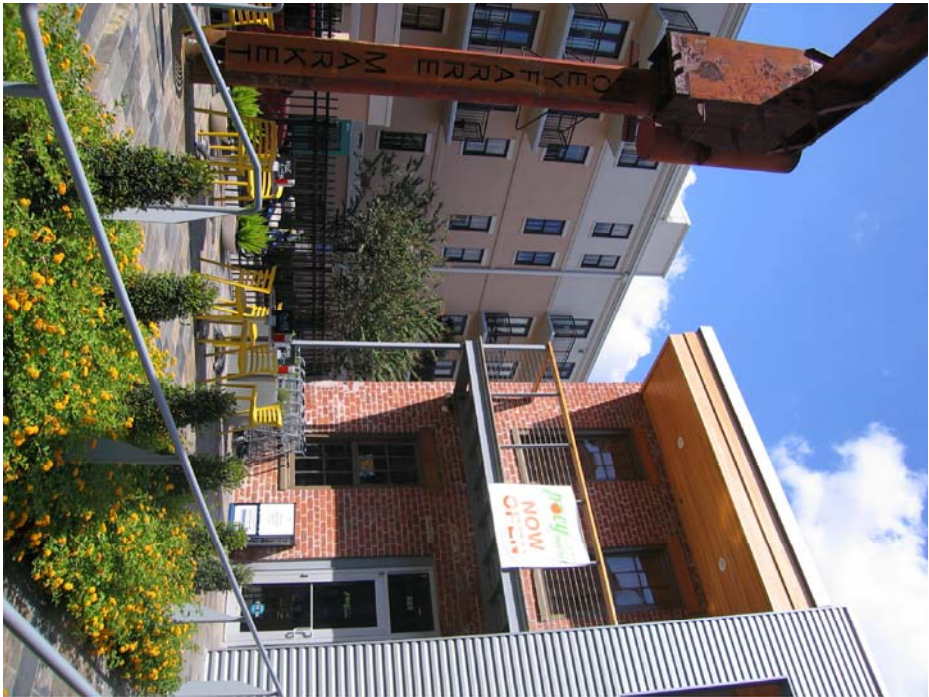
2. WOOD FLOOR= DURA PALM

MATERIAL KEY:
(ALL MATERIALS ARE EXISTING, U.N.O.)

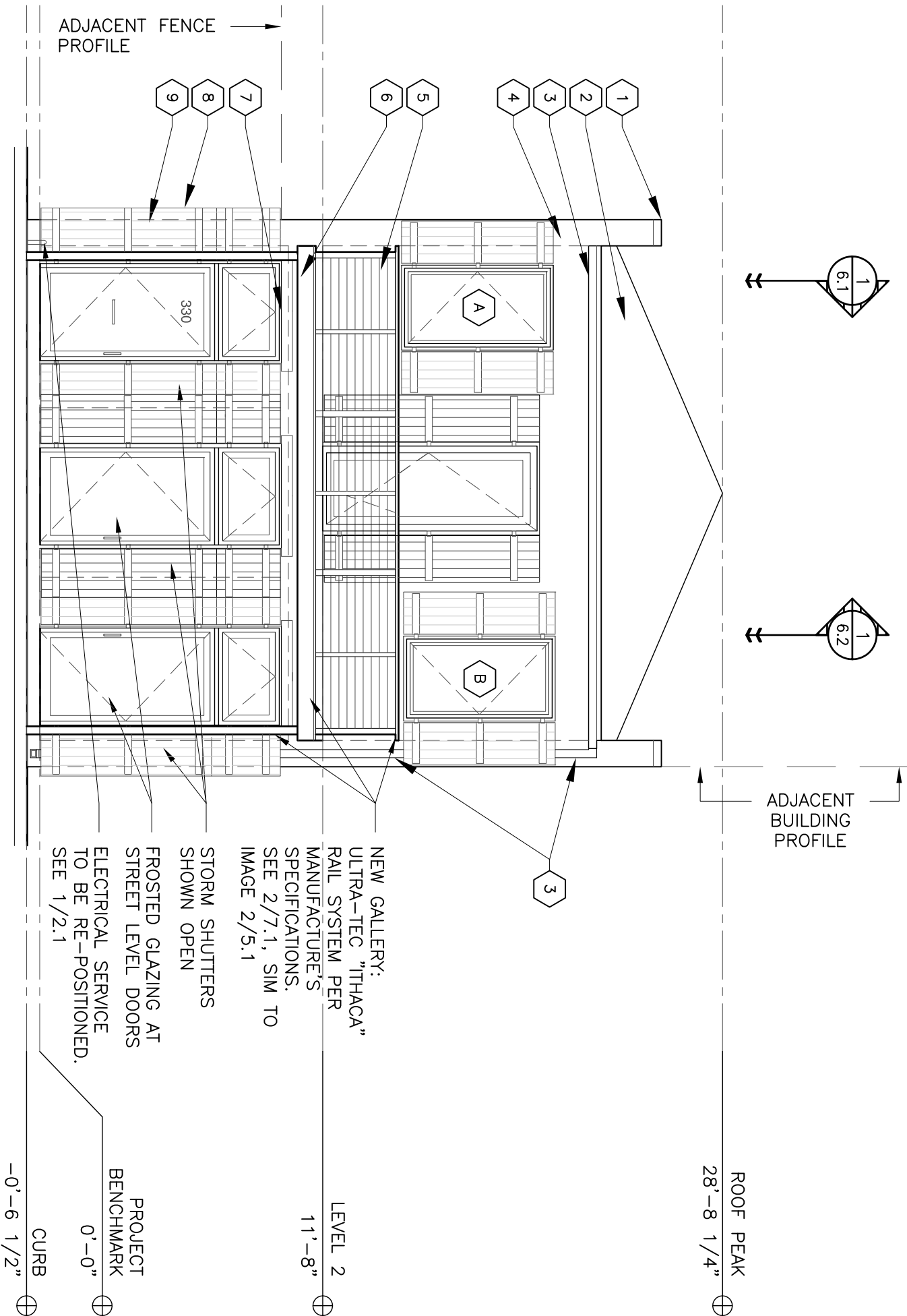
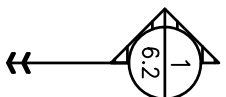
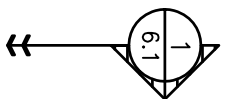
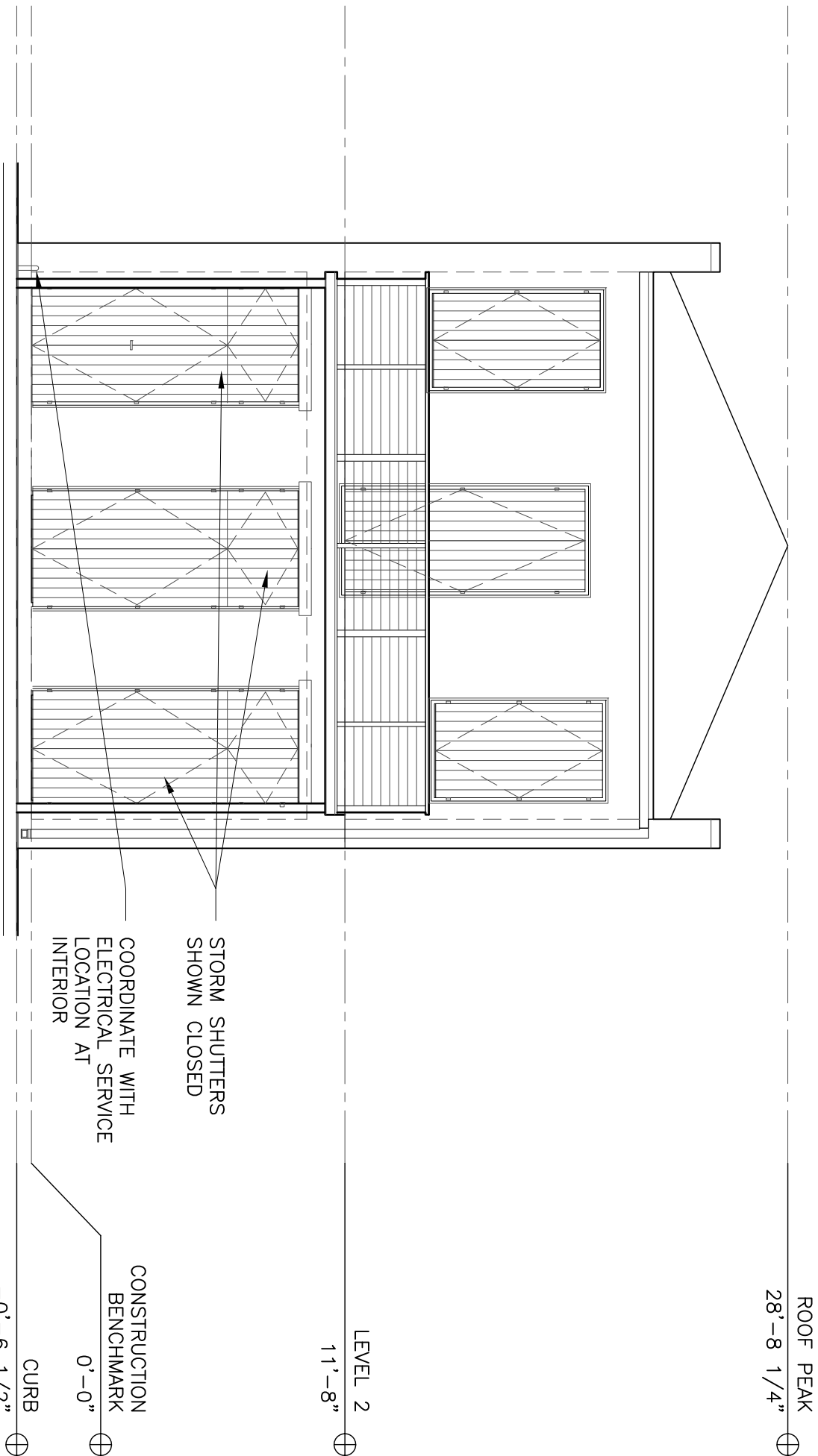
- 1 METAL FLASHING CAP, REPAIR
- 2 ASPHALT SHINGLE ROOF
- 3 4" BOX RAIN GUTTER + DOWNSPOUT
- 4 STUCCO OVER MASONRY, REPAIR
- 5 NEW GUARD RAIL (SEE 2/7.1)
- 6 NEW GALLERY FASCIA (SEE 2/7.1)
- 7 WOOD LINTEL, REPAIR
- 8 NEW STORM SHUTTERS
- 9 NEW STEEL COLUMNS (SEE 2/7.1)

GENERAL NOTES:

- 1. DUE TO THE NATURE OF THIS RENOVATION, ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- 2. ALL DIMENSIONS ARE TAKEN FROM FINISH SURFACE TO FINISH SURFACE
- 3. NEW LEVEL 1 FLOOR TOPPING TO ESTABLISH PROJECT BENCHMARK. COORDINATE WITH NOTED ELEVATIONS.



2 GALLERY + RAIL PRECEDENT
5.1 NTS

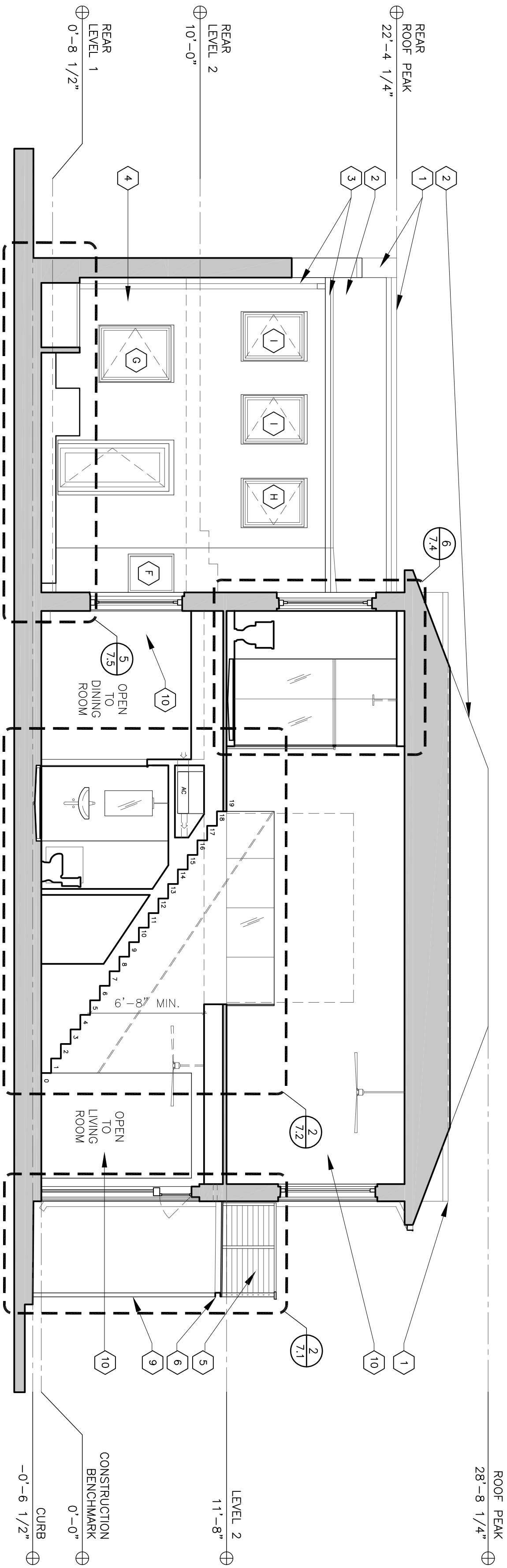
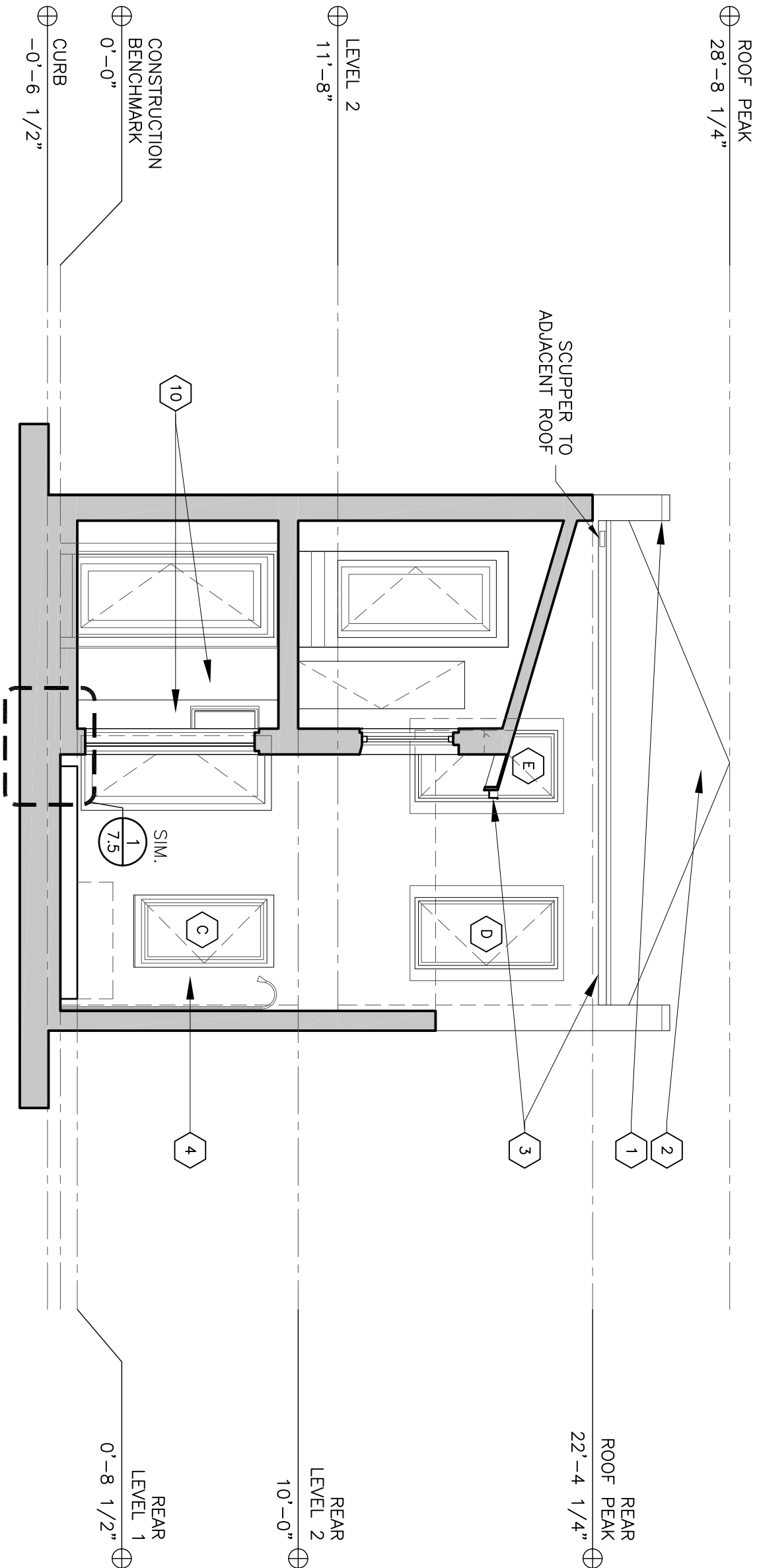


1 STREET ELEVATION (SHOWN WITH SHUTTERS OPEN)
2.1 5.1 3/16"=1'-0"



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drawn by:	mouton
	soniat
drawing title	ELEVATION
project	11008
sheet	5.1

- MATERIAL KEY:
(ALL MATERIALS ARE EXISTING, UN.O.)
- 1 METAL FLASHING CAP, REPAIR
 - 2 ASPHALT SHINGLE ROOF
 - 3 4" BOX RAIN GUTTER + DOWNSPOUT
 - 4 STUCCO OVER MASONRY, REPAIR
 - 5 NEW GUARD RAIL (SEE IMAGE 2/7.1)
 - 6 NEW GALLERY FASCIA (SEE IMAGE 2/7.1)
 - 7 WOOD LINTEL, REPAIR
 - 8 NEW STORM SHUTTERS
 - 9 NEW STEEL COLUMNS (SEE 2/7.1)
 - 10 SEALED MASONRY WALLS, REF. 1.2/1.9



Grove Residence : Renovation

330 S. DIAMOND STREET
NEW ORLEANS, LA 70130

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project	11008
sheet	6.1

- MATERIAL KEY:
(ALL MATERIALS ARE EXISTING, UN.O.)
- 1

METAL FLASHING CAP, REPAIR
- 2

ASPHALT SHINGLE ROOF
- 3

4" BOX RAIN GUTTER + DOWNSPOUT
- 4

STUCCO OVER MASONRY, REPAIR
- 5

NEW GUARD RAIL (SEE IMAGE 2/7.1)
- 6

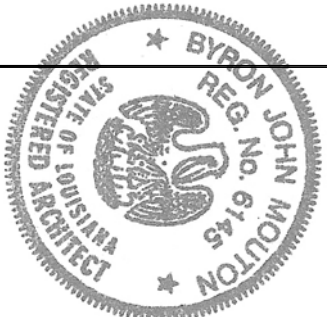
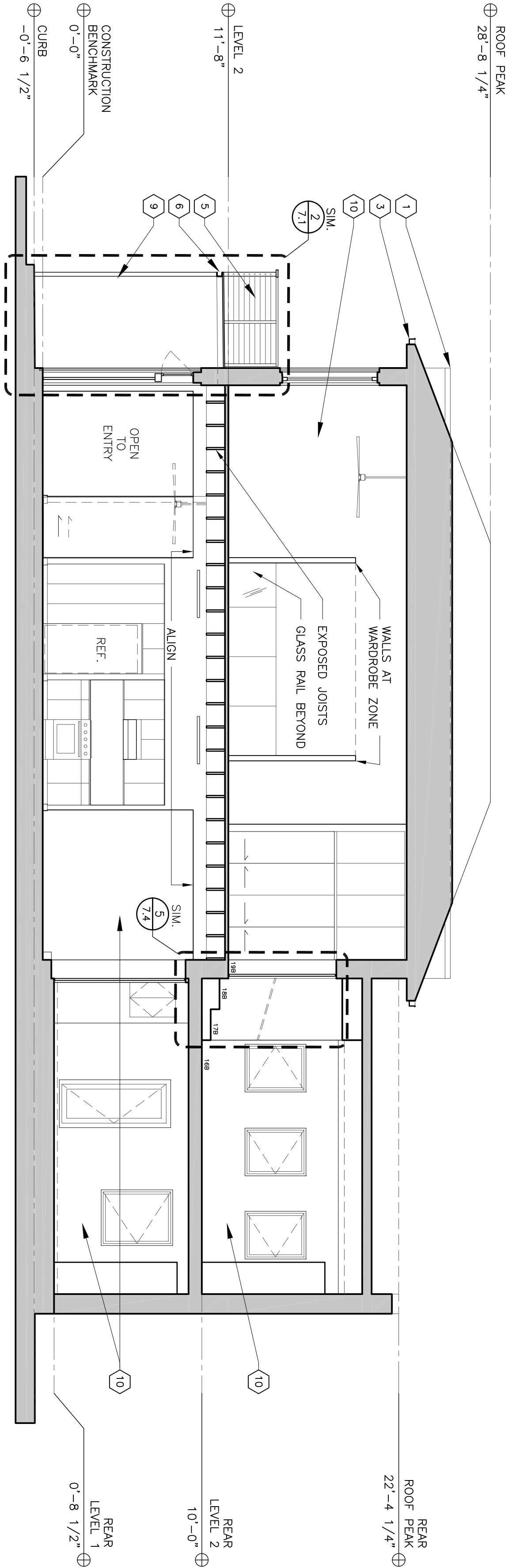
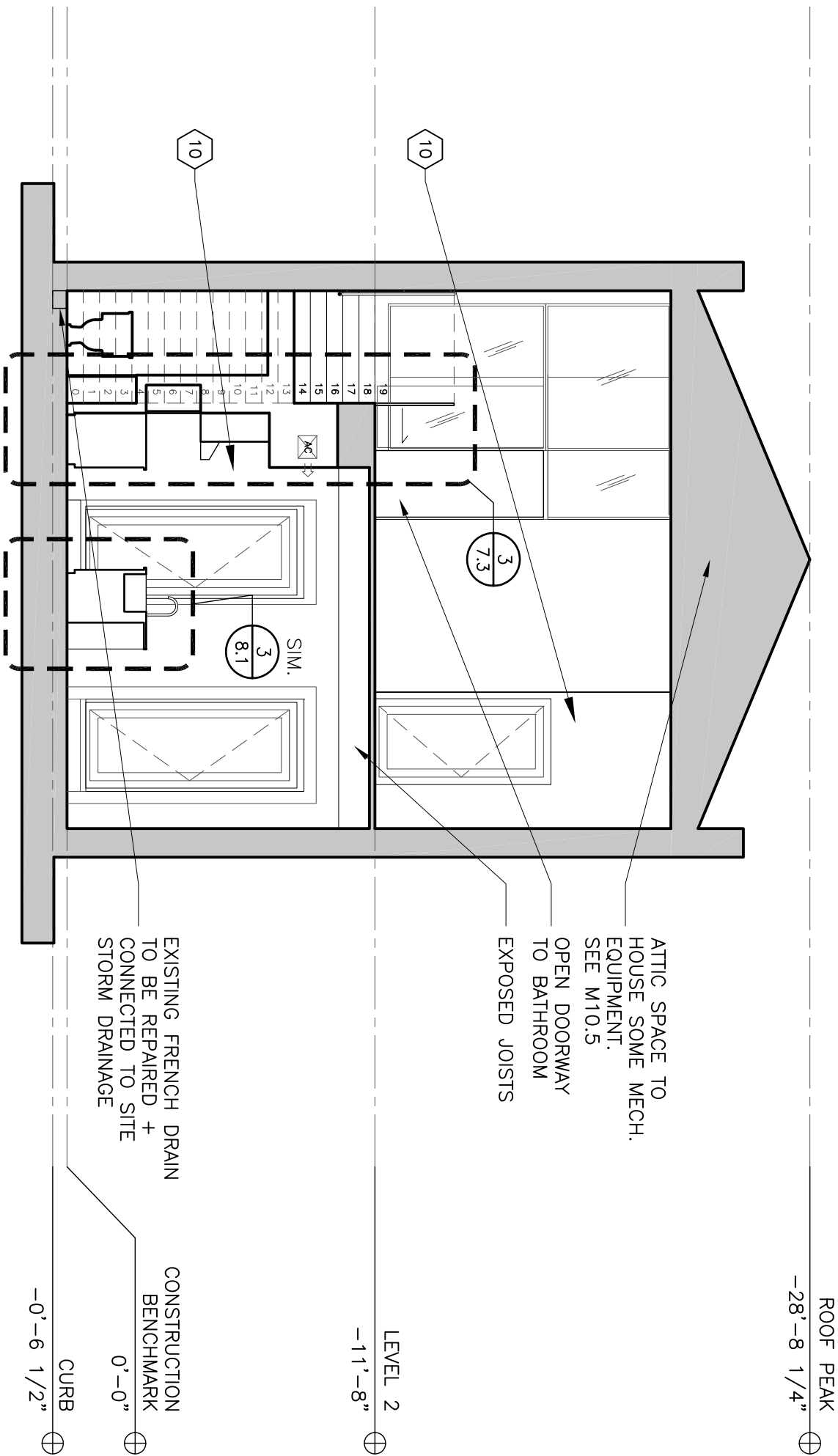
NEW GALLERY FASCIA (SEE IMAGE 2/7.1)
- 7

WOOD LINTEL, REPAIR
- 8

NEW STORM SHUTTERS
- 9

NEW STEEL COLUMNS (SEE 2/7.1)
- 10

SEALED MASONRY WALLS, REF. 1.2/1.9



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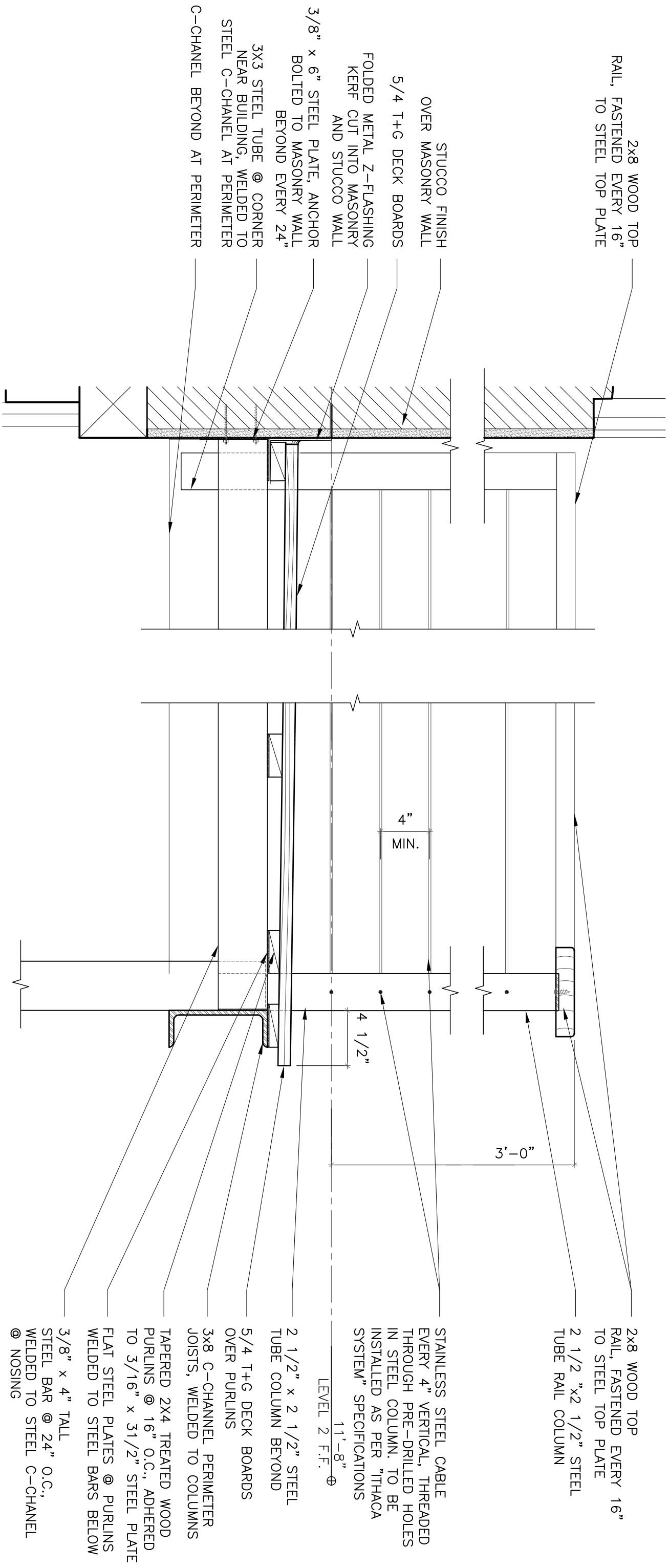
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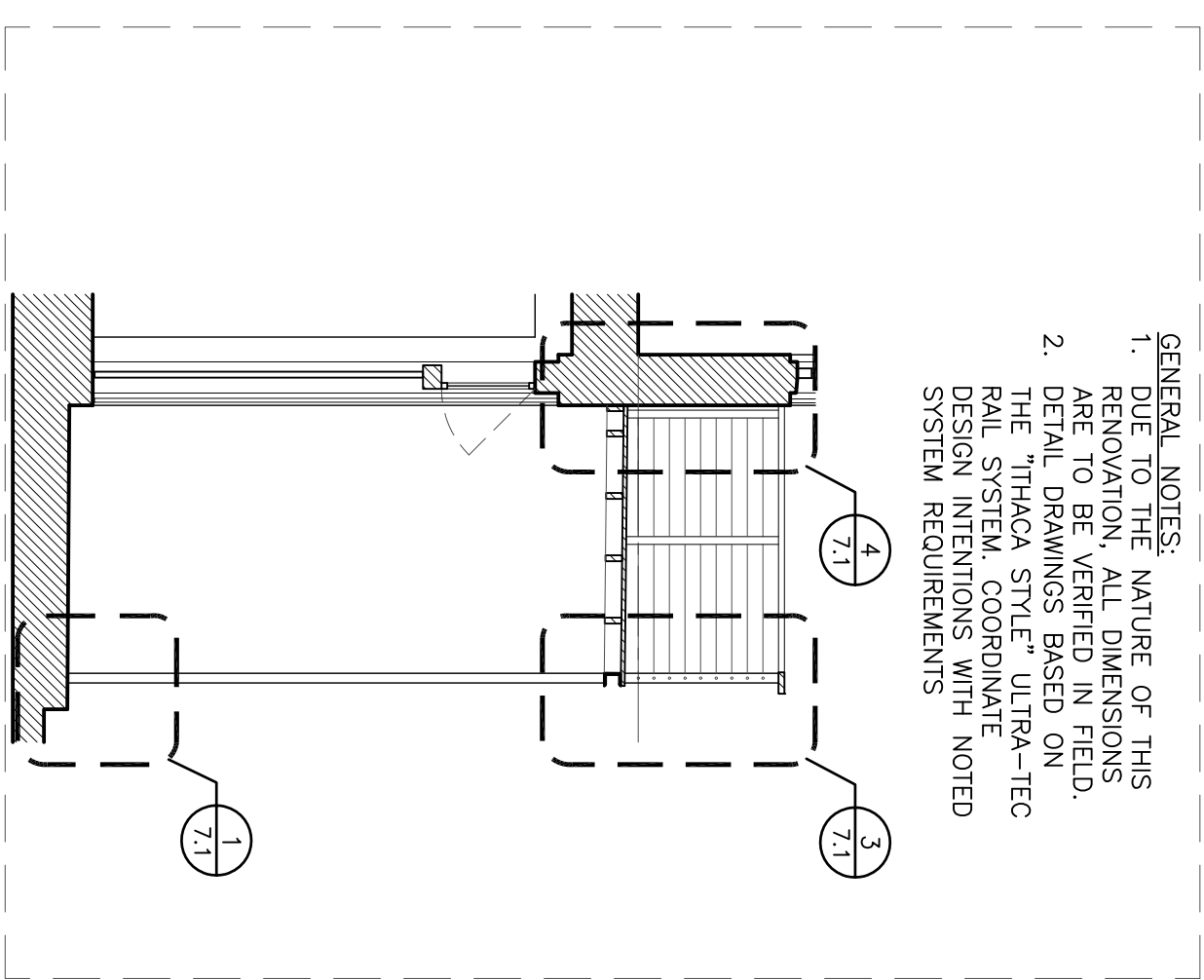
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DETAILS	
project	11008
sheet	7.1



4
7.1 | 7.1
DETAIL
1 1/2"=1'-0"

3
7.1 | 7.1
DETAIL
1 1/2"=1'-0"

- GENERAL NOTES:
1. DUE TO THE NATURE OF THIS RENOVATION, ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
 2. DETAIL DRAWINGS BASED ON THE "ITHACA STYLE" ULTRA-TEC RAIL SYSTEM. COORDINATE DESIGN INTENTIONS WITH NOTED SYSTEM REQUIREMENTS



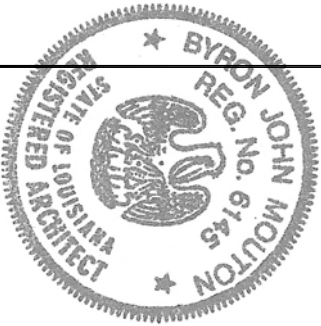
2
6.1 | 7.1
WALL SECTION
1/4"=1'-0"

1
7.1 | 7.1
DETAIL
1 1/2"=1'-0"

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revision

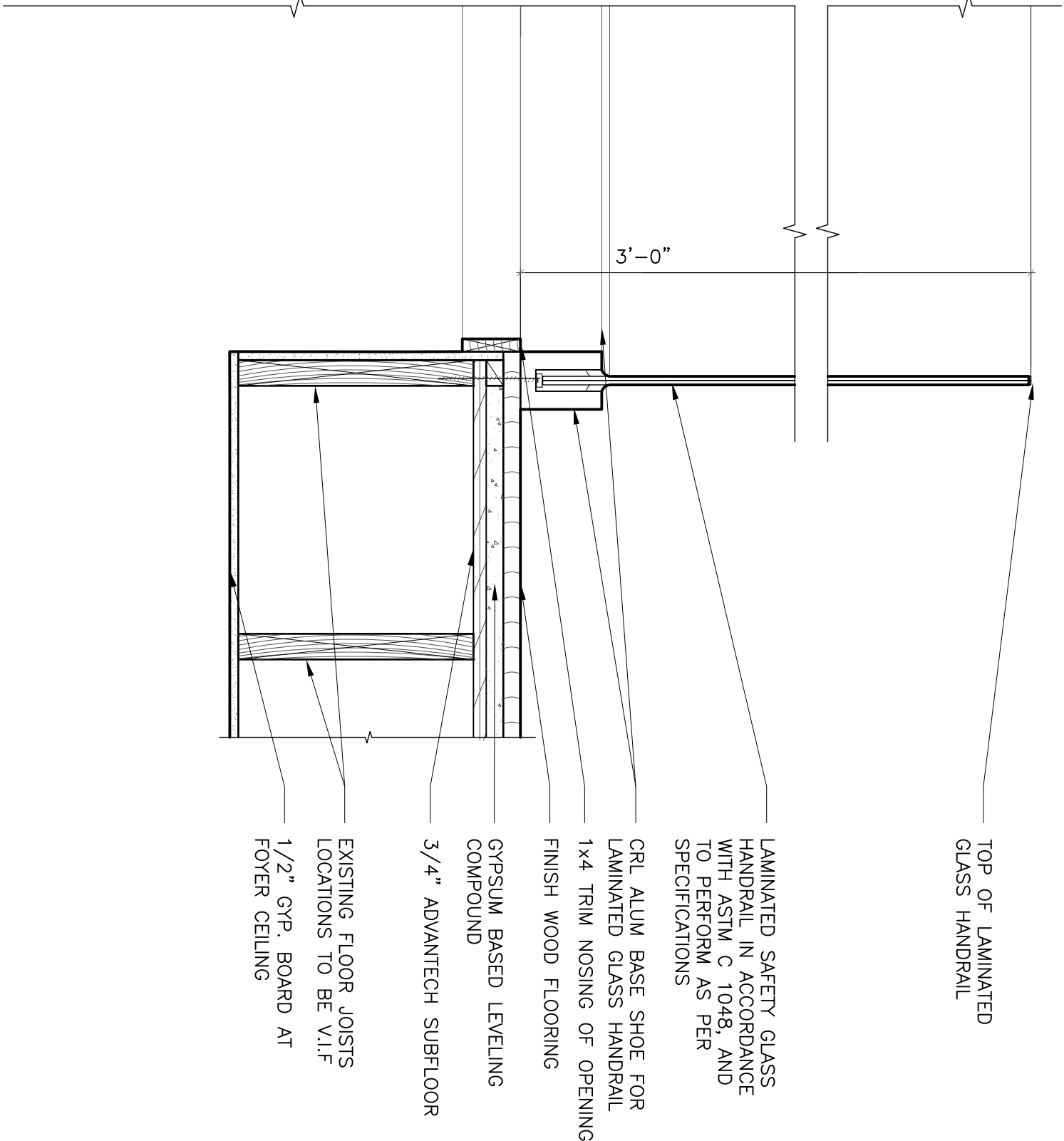
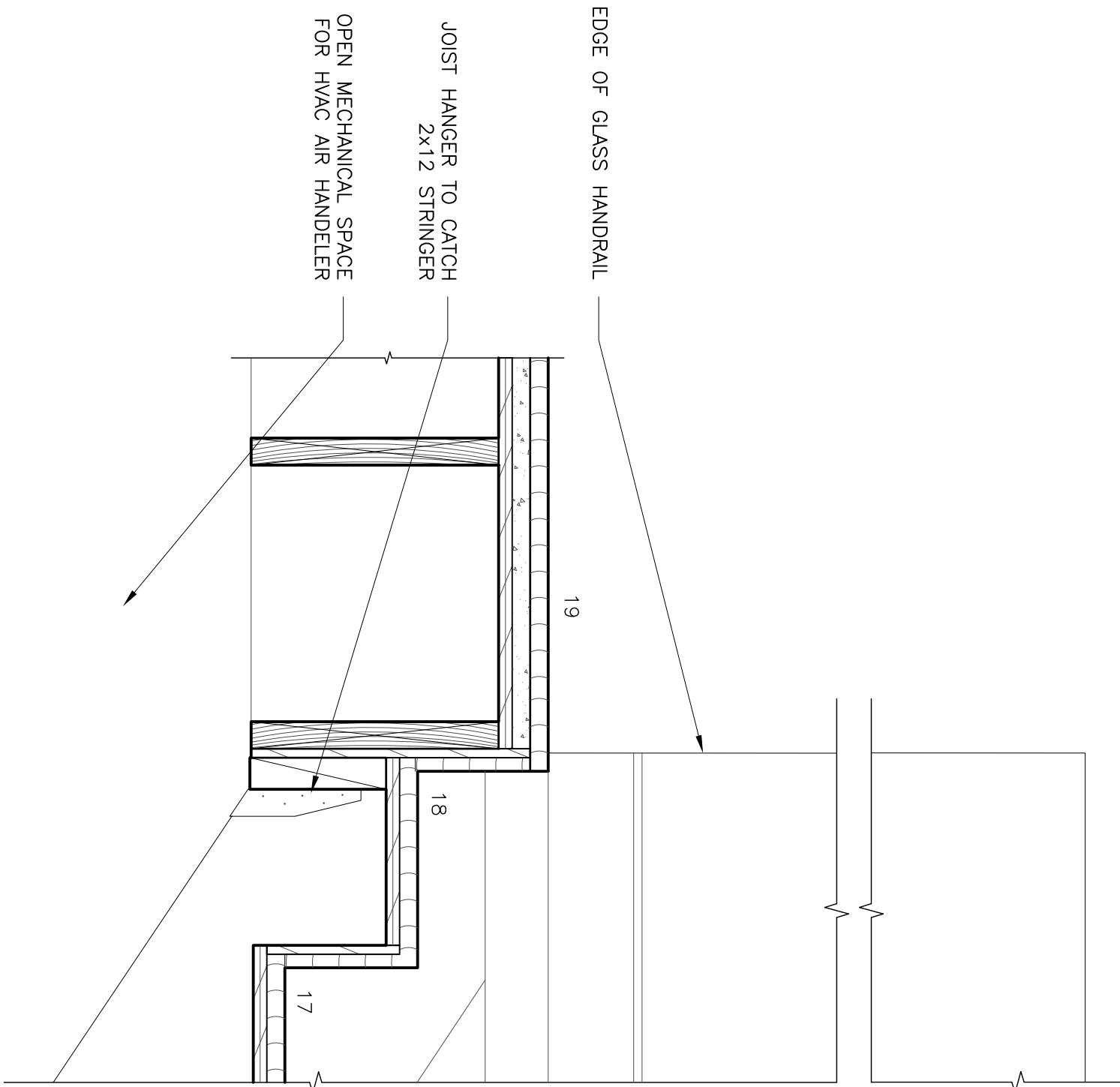
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drawing title
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project 11008

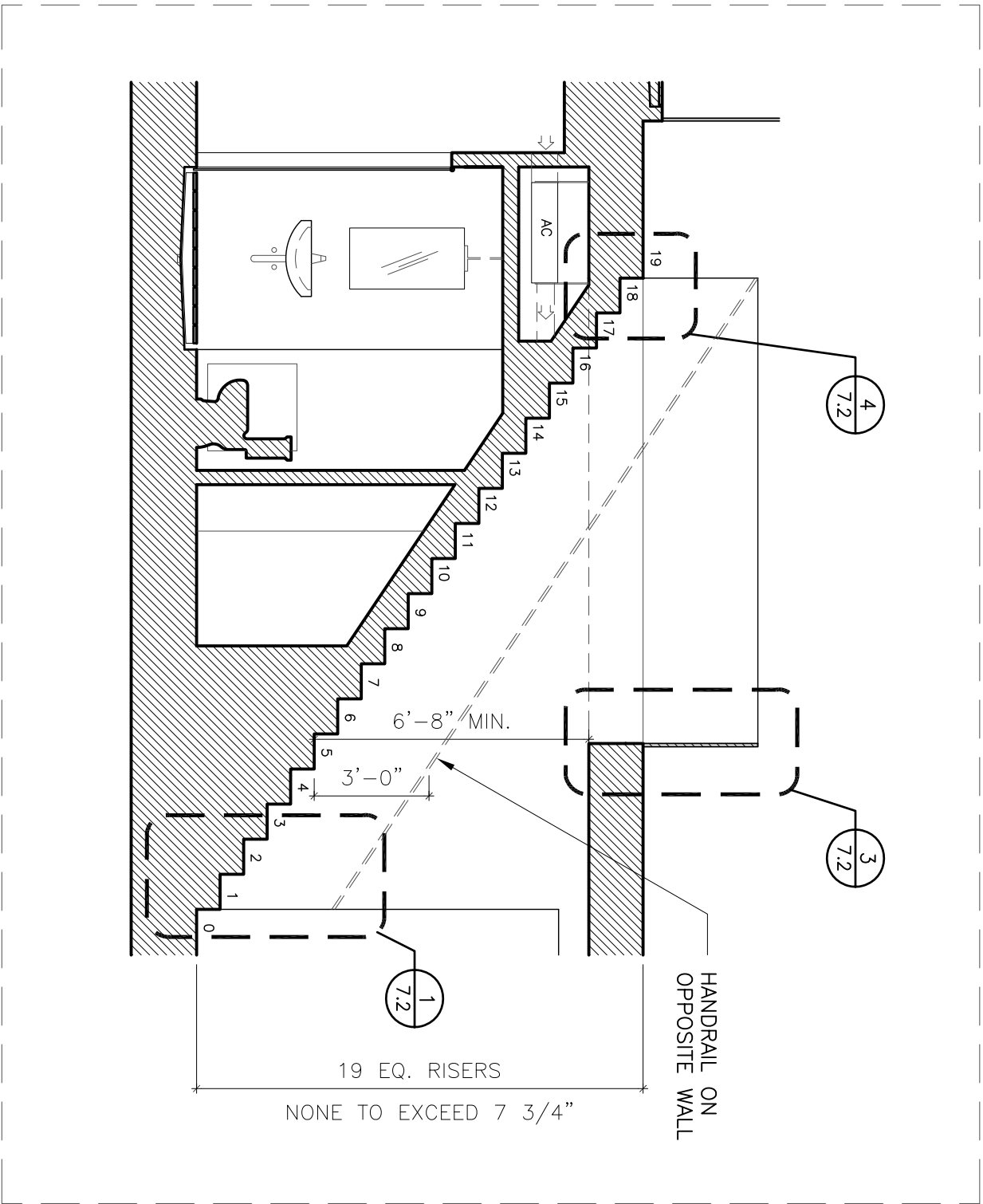
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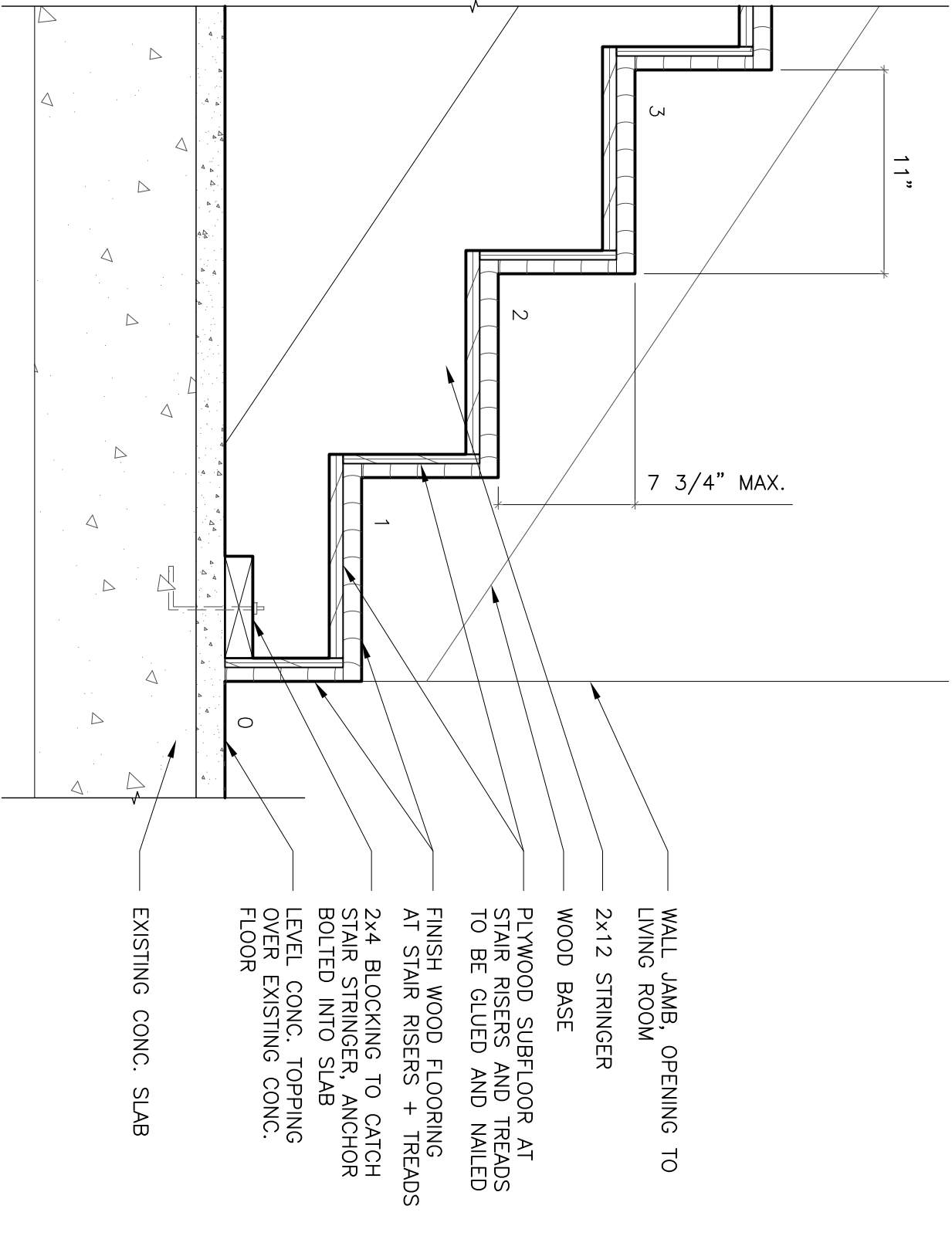


DETAIL
1 1/2"=1'-0"

DETAIL
1 1/2"=1'-0"



WALL SECTION
1/4"=1'-0"



DETAIL
1 1/2"=1'-0"

Grove Residence : Renovation

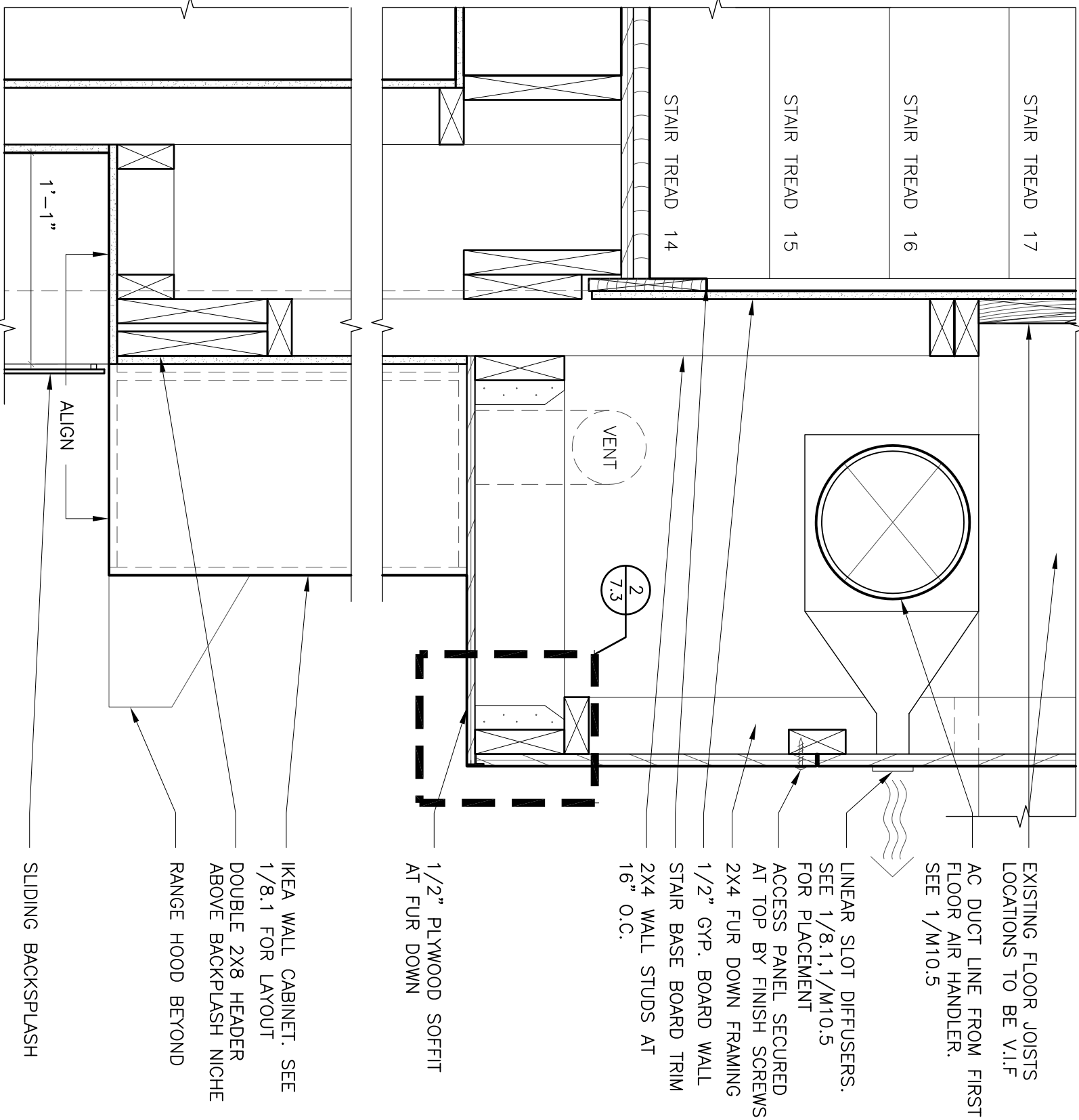
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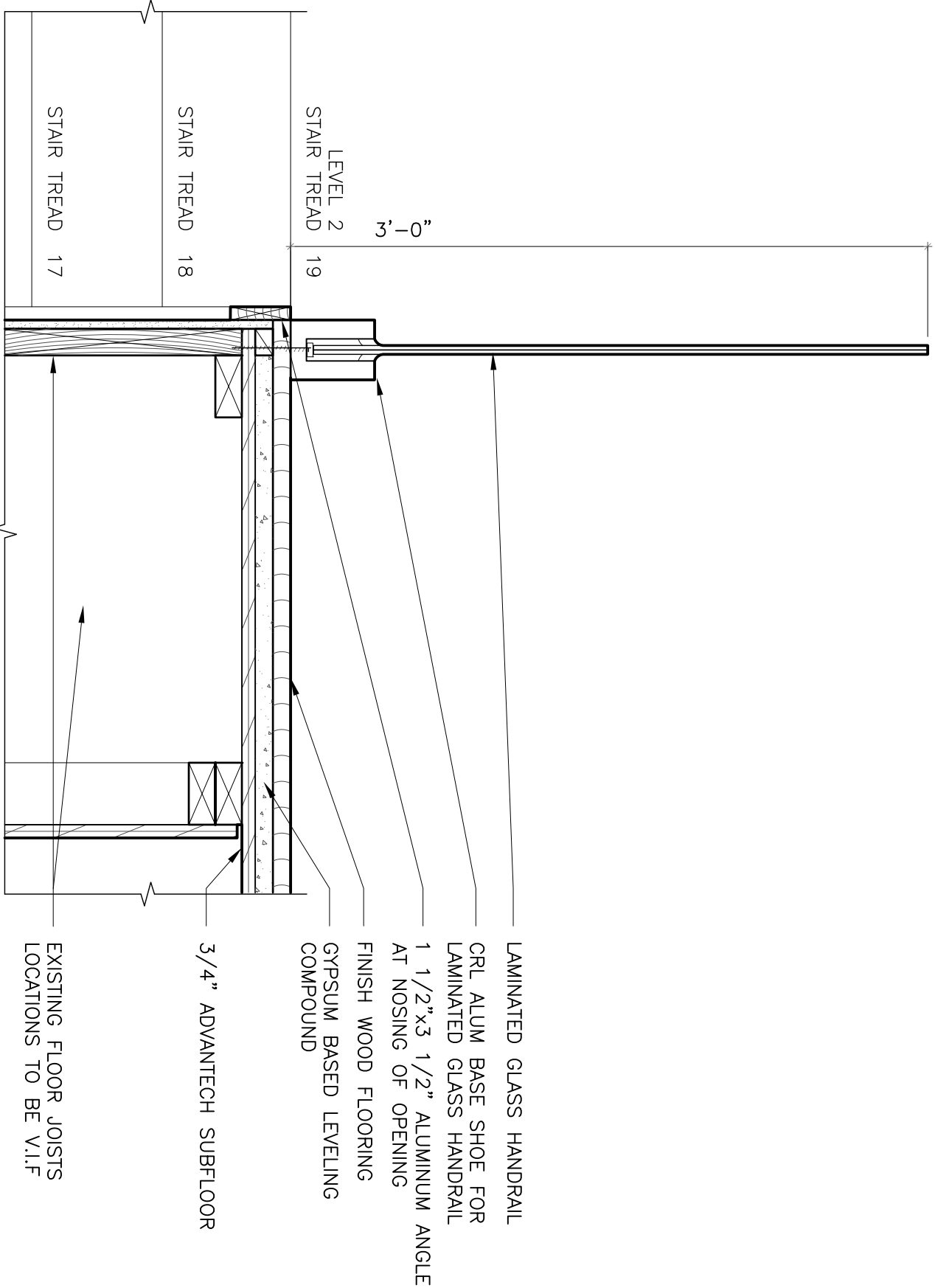


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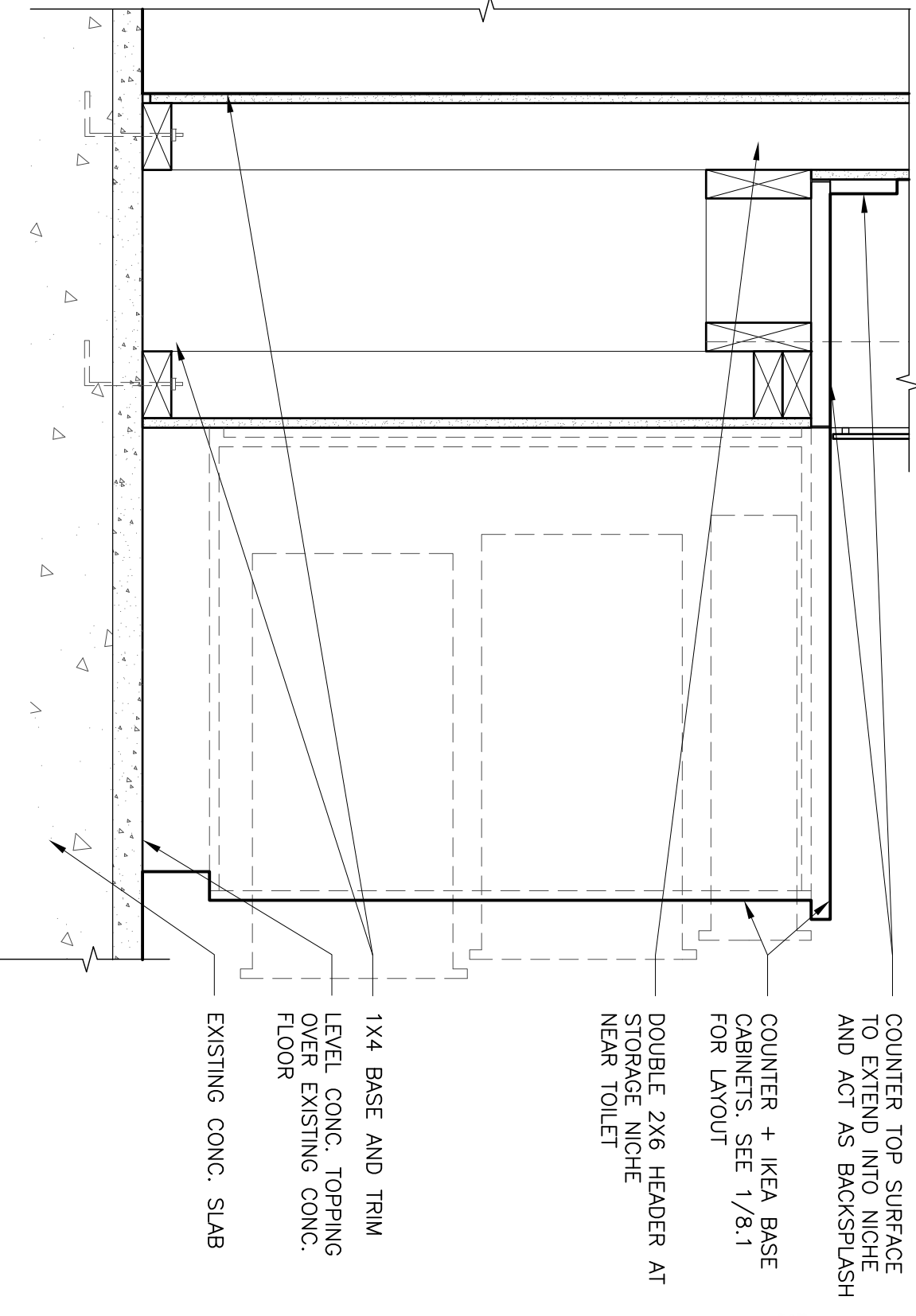
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soniat
drawing title
DETAILS
project 11008
sheet



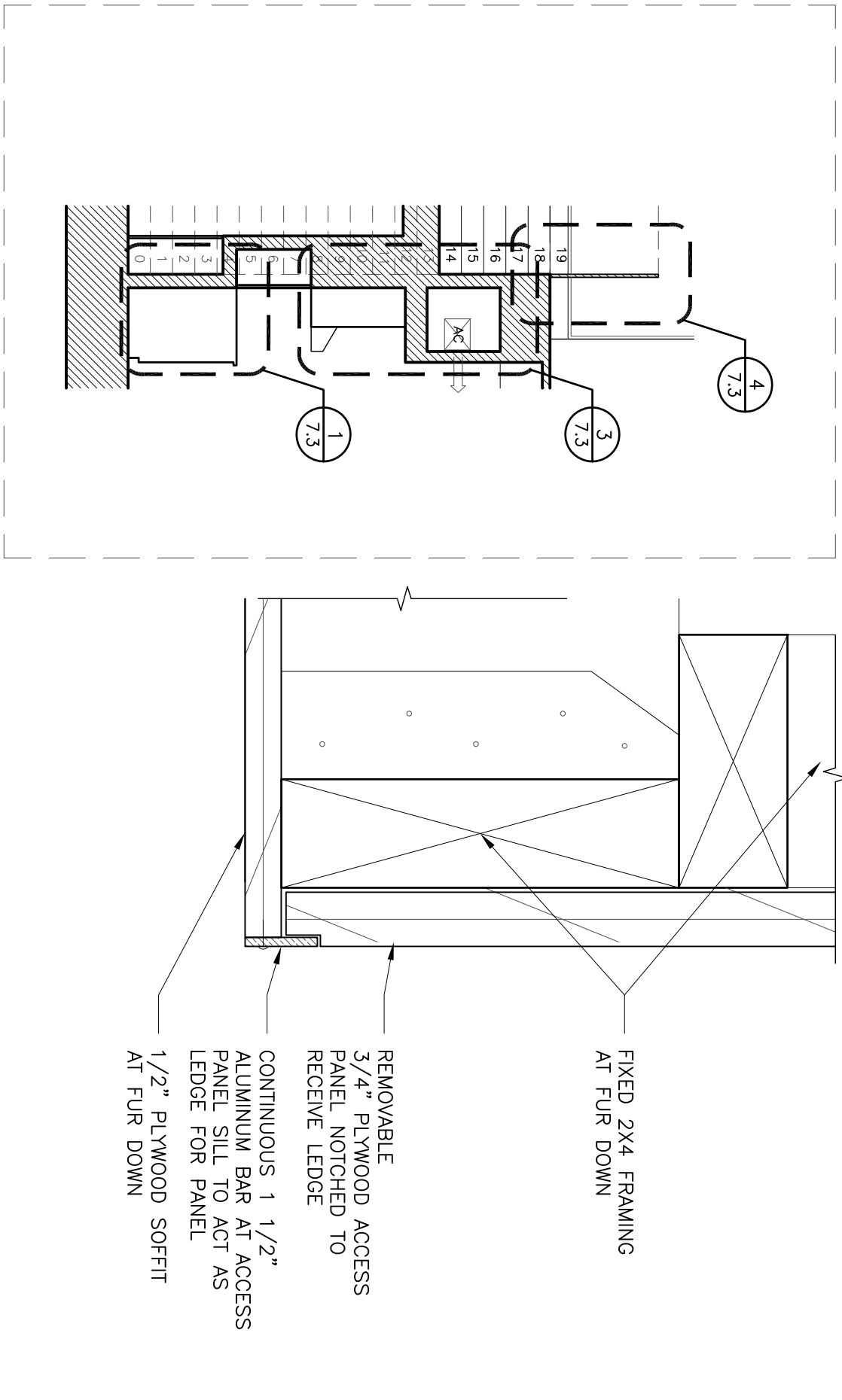
5
7.3 | 7.3
DETAIL
1 1/2"=1'-0"



5
7.3 | 7.3
DETAIL
1 1/2"=1'-0"

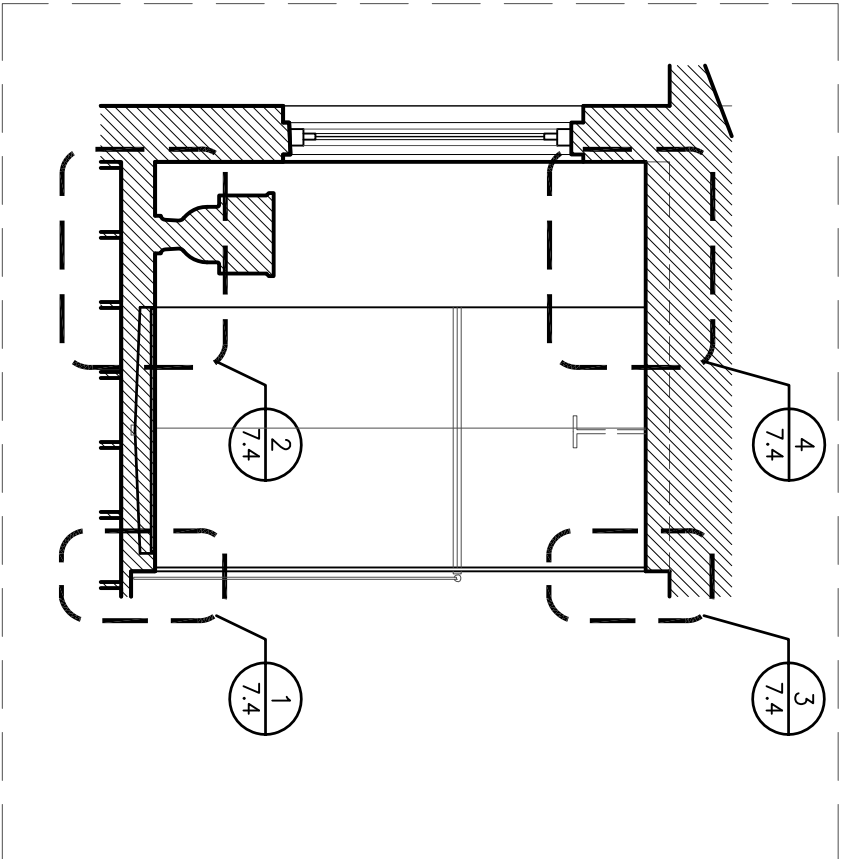


1
7.3 | 7.3
DETAIL
1 1/2"=1'-0"

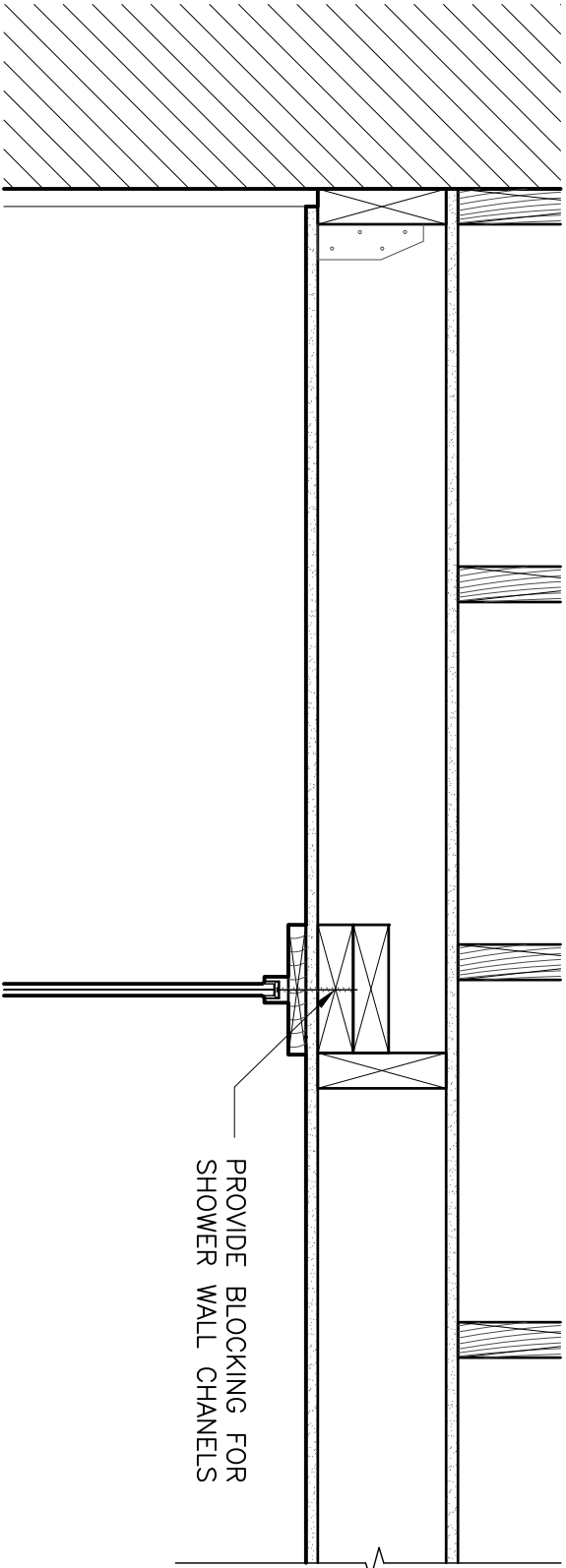


3
6.1 | 7.3
WALL SECTION
1/4"=1'-0"

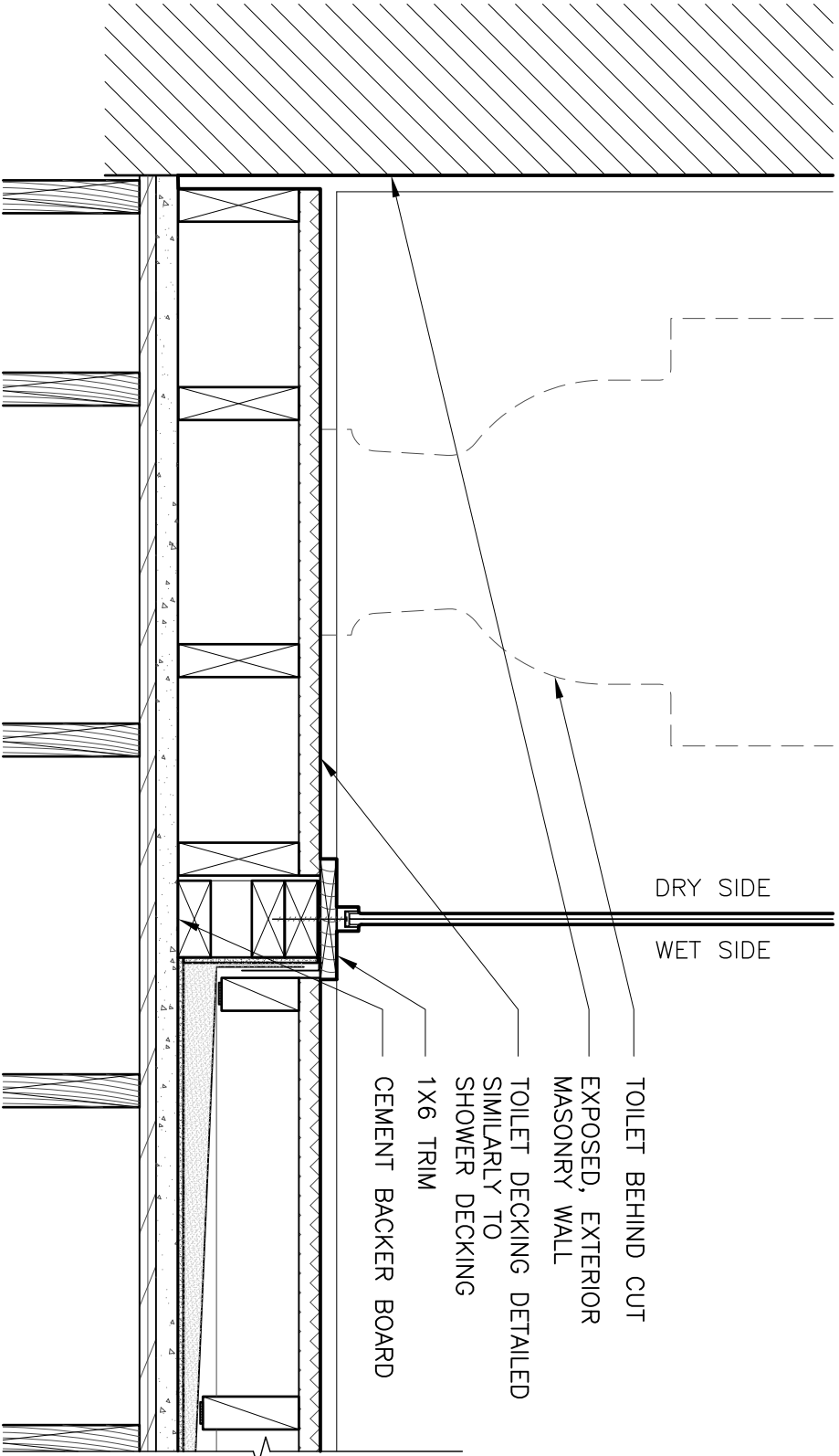
2
7.3 | 7.3
DETAIL
6"=1'-0"



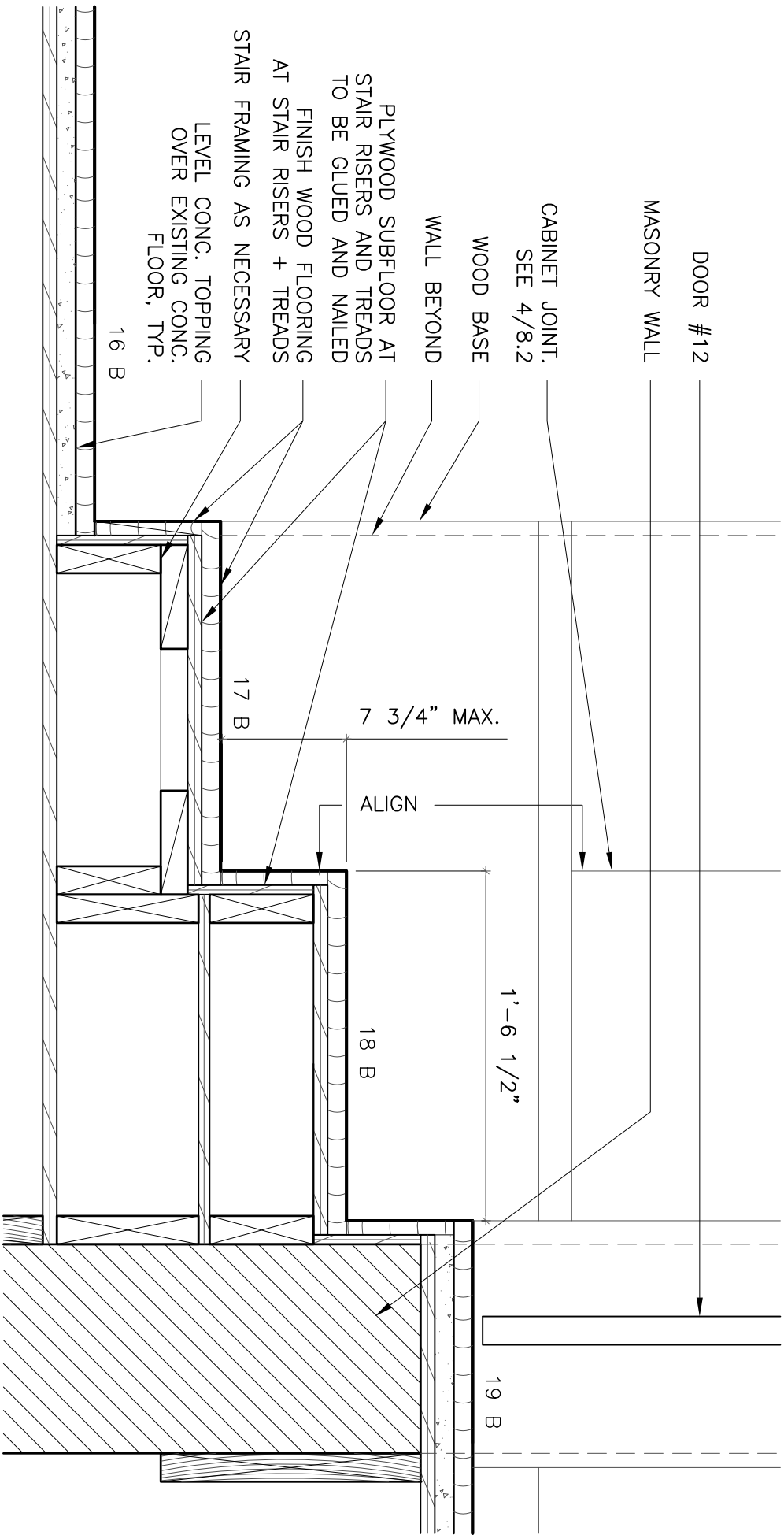
6.1 | 7.4 WALL SECTION
1/4"=1'-0"



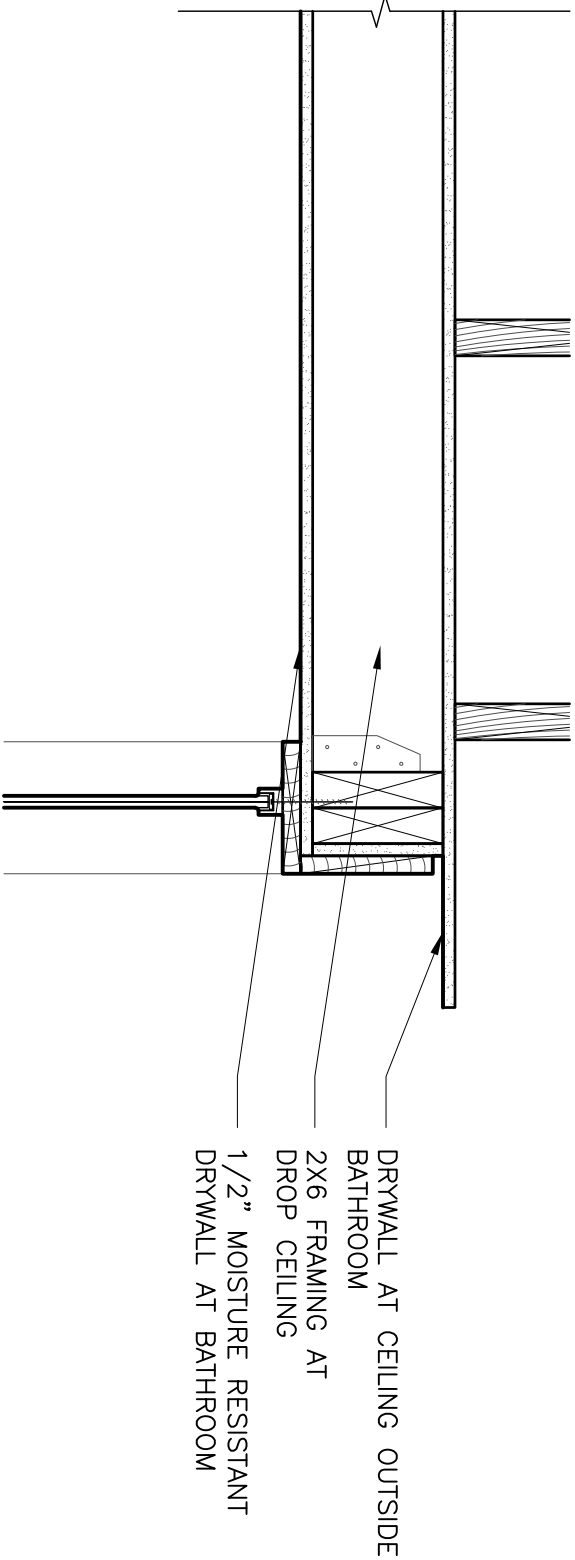
7.4 | 7.4 DETAIL
1 1/2"=1'-0"



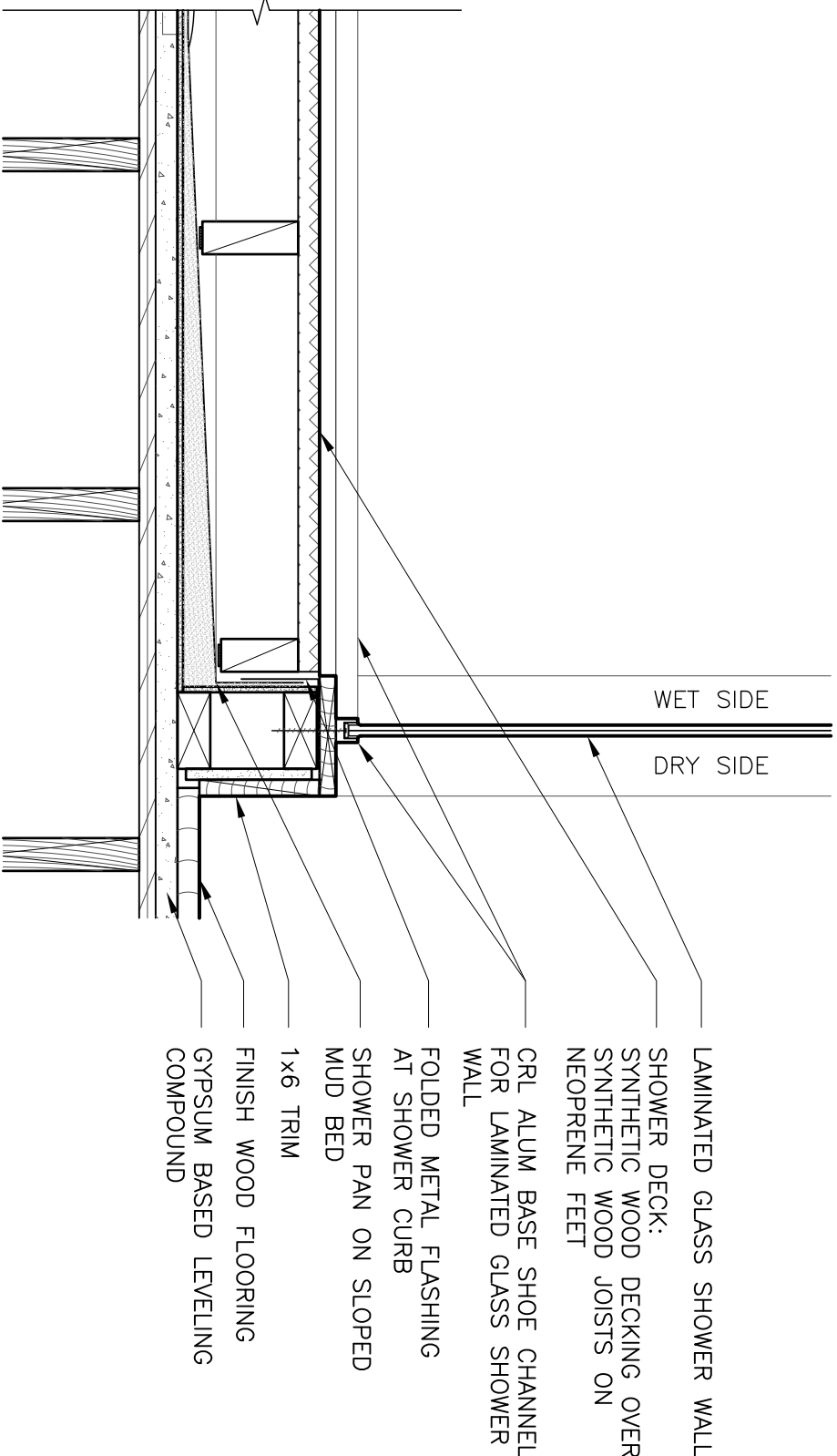
7.4 | 7.4 DETAIL
1 1/2"=1'-0"



6.2 | 7.4 DETAIL
1 1/2"=1'-0"



7.4 | 7.4 DETAIL
1 1/2"=1'-0"



7.4 | 7.4 DETAIL
1 1/2"=1'-0"



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	soniat
drawing title	DETAILS
project	11008
sheet	7.4

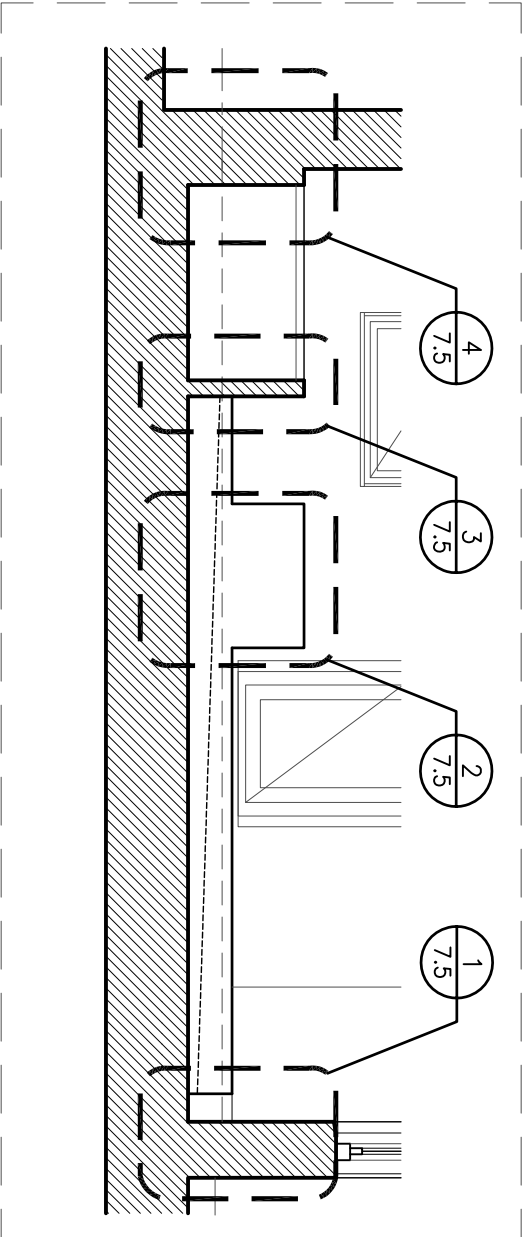
Grove Residence : Renovation

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NEW ORLEANS, LA 70130

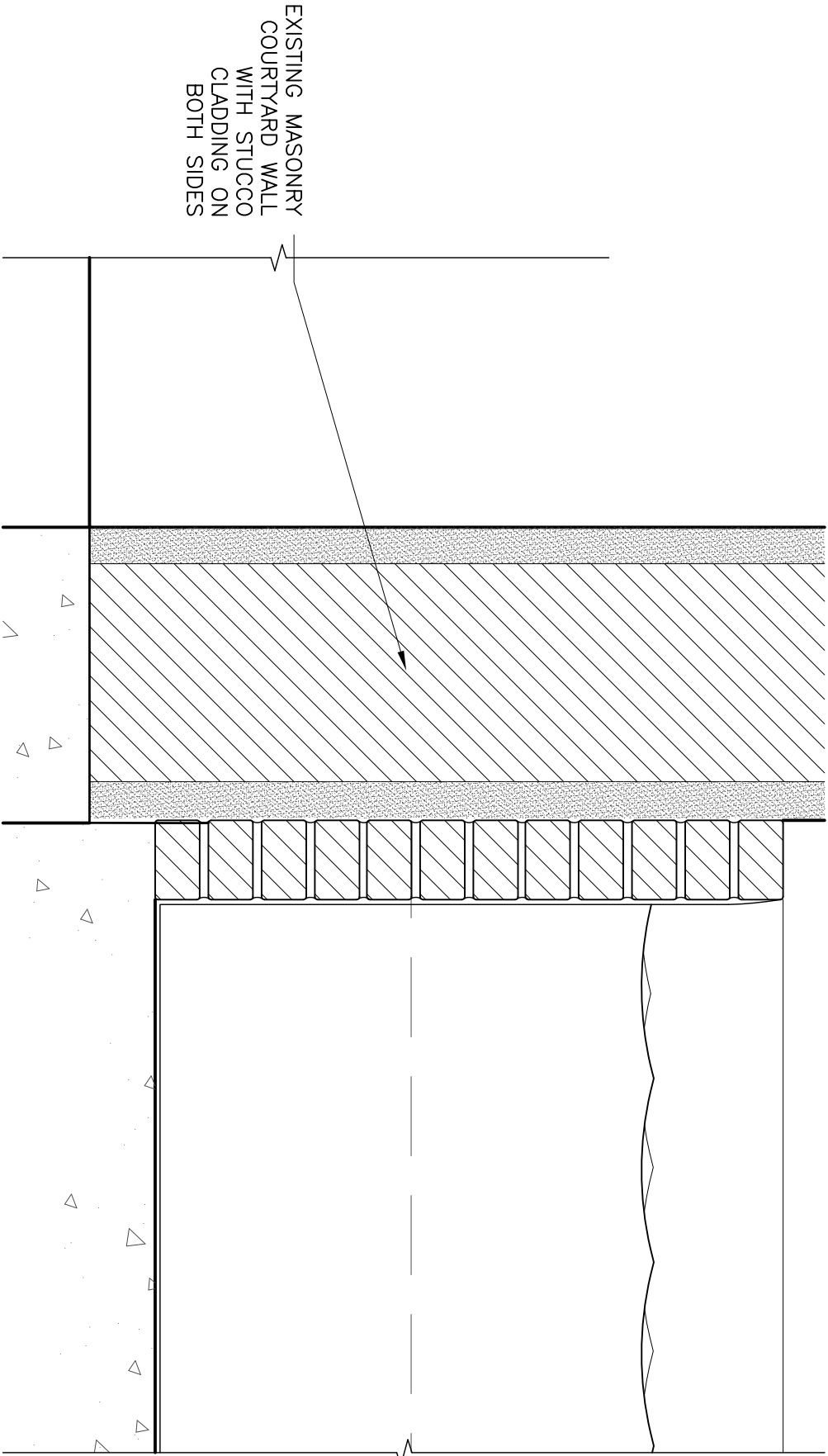
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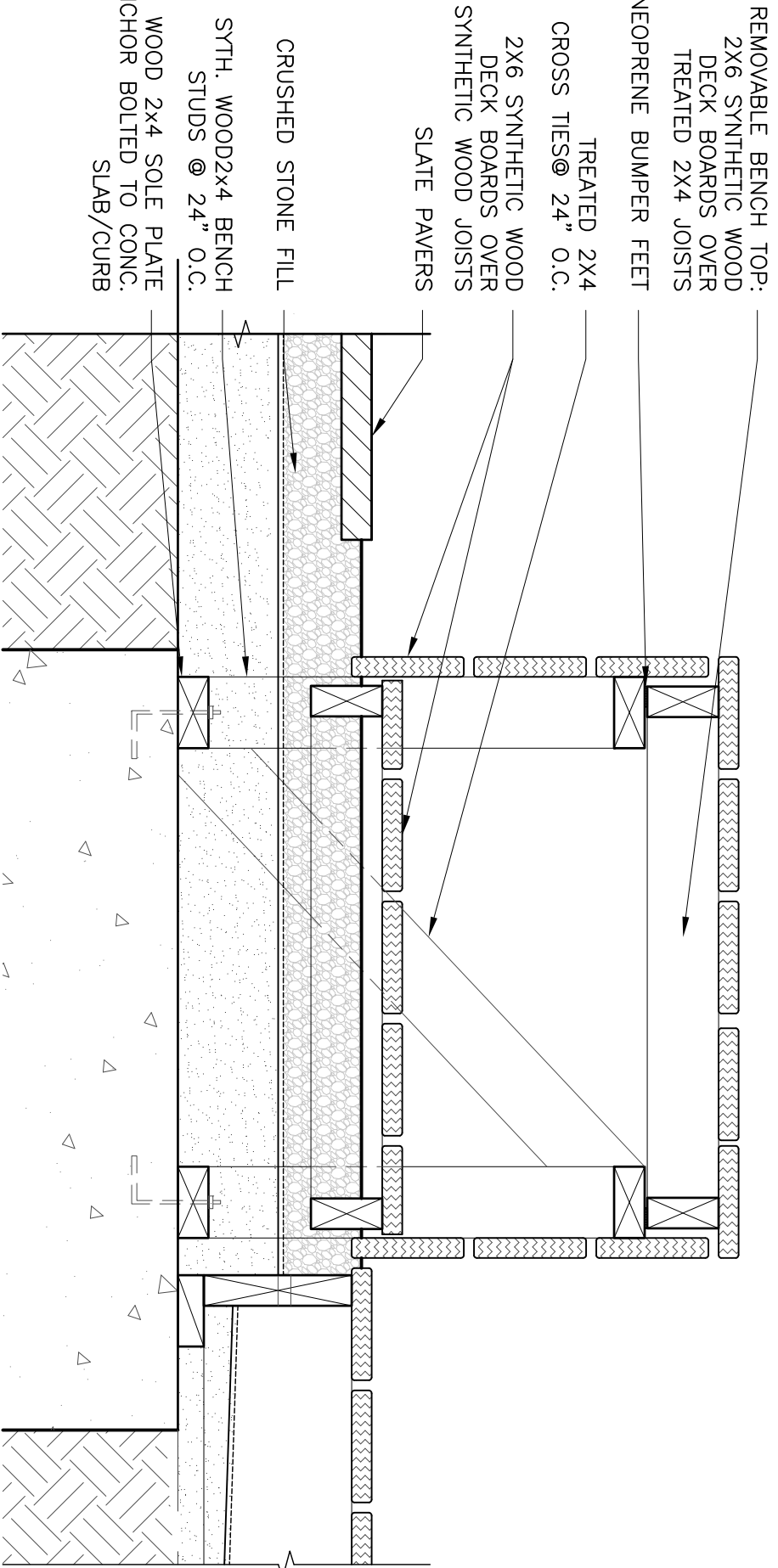
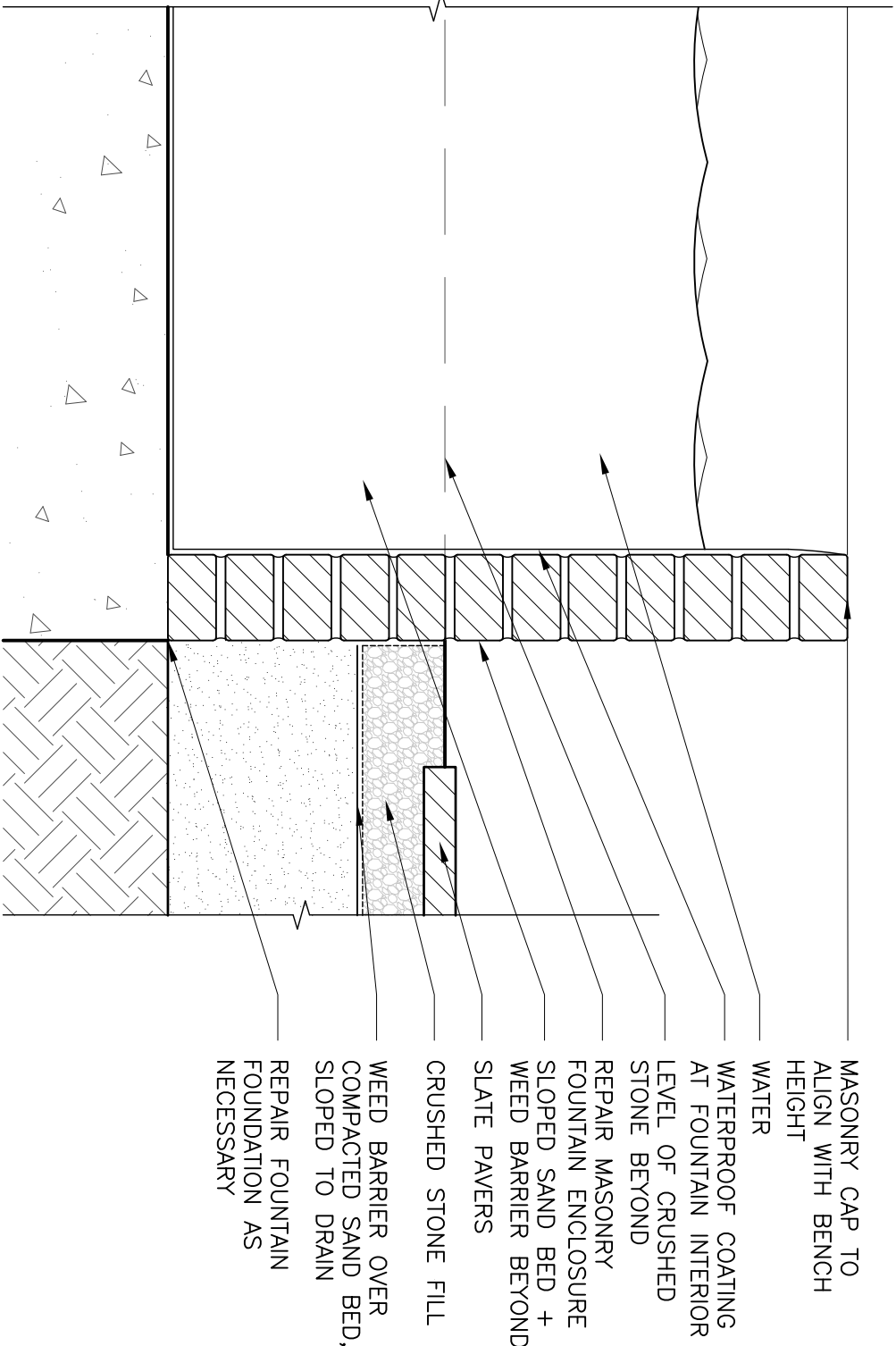
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drawn by:	mouton
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drawing title	DETAILS
project	11008
sheet	7.5



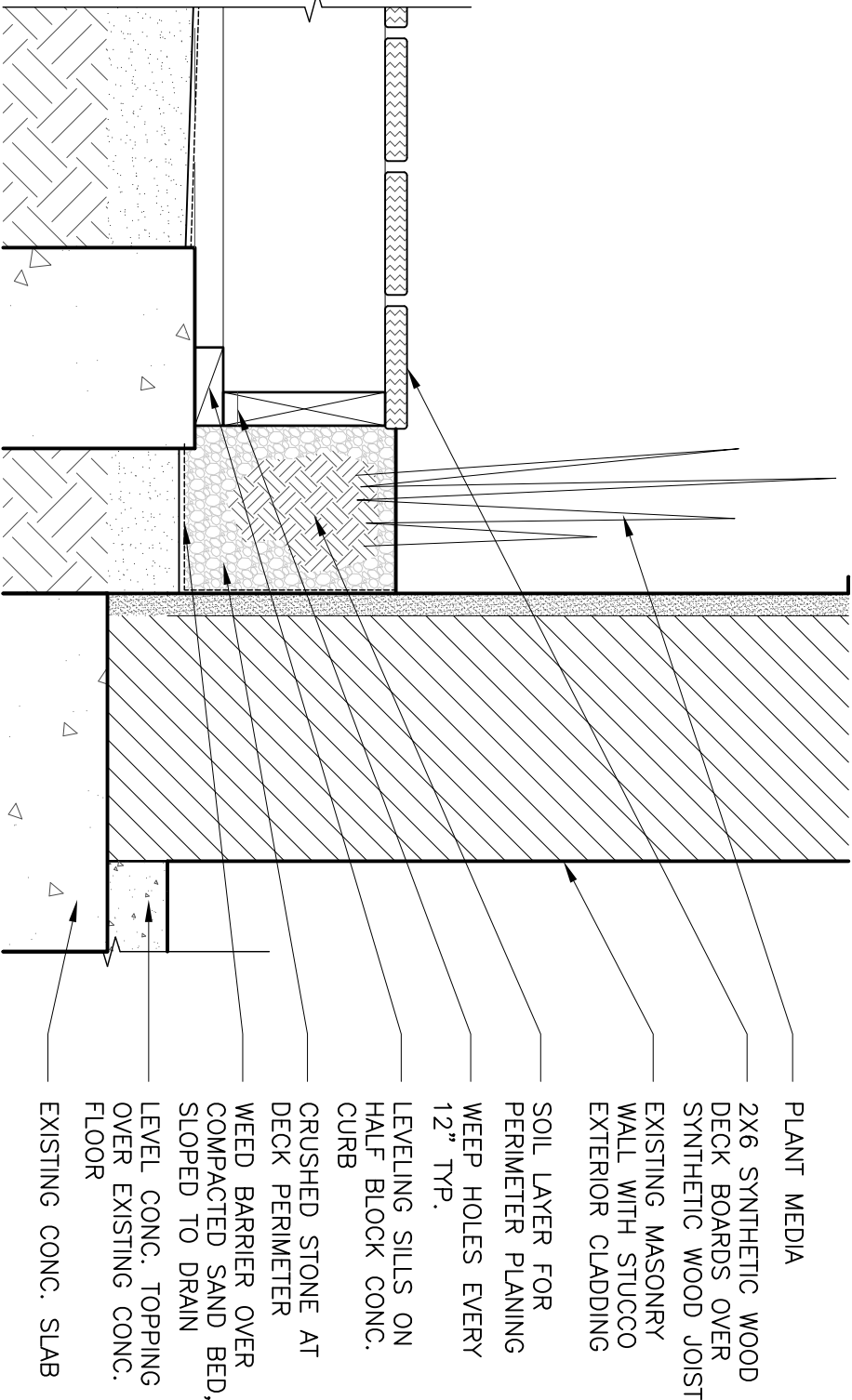
5
6.1 | 7.5
WALL SECTION
1/4"=1'-0"



4
7.5 | 7.5
DETAIL
1 1/2"=1'-0"



2
7.5 | 7.5
DETAIL
1 1/2"=1'-0"



3
7.5 | 7.5
DETAIL
1 1/2"=1'-0"

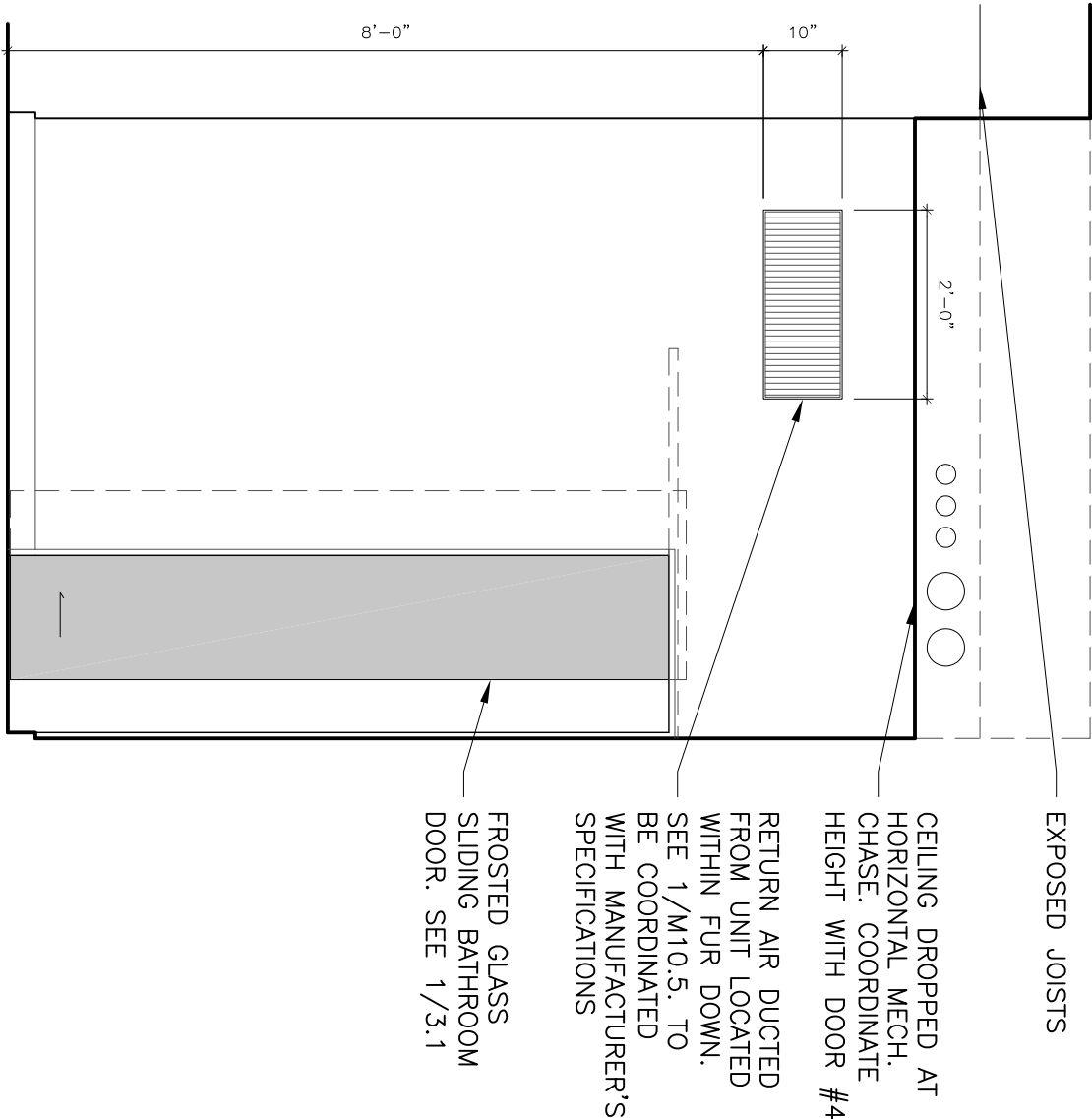
Grove Residence : Renovation

330 S. DIAMOND STREET
 NEW ORLEANS, LA 70130

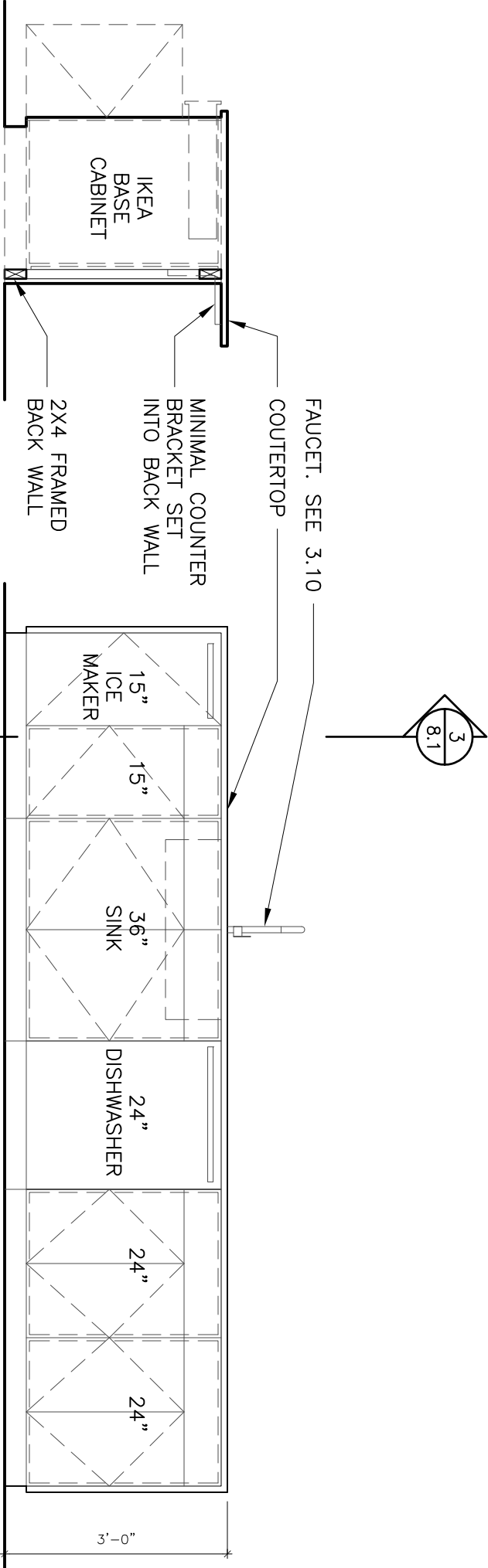
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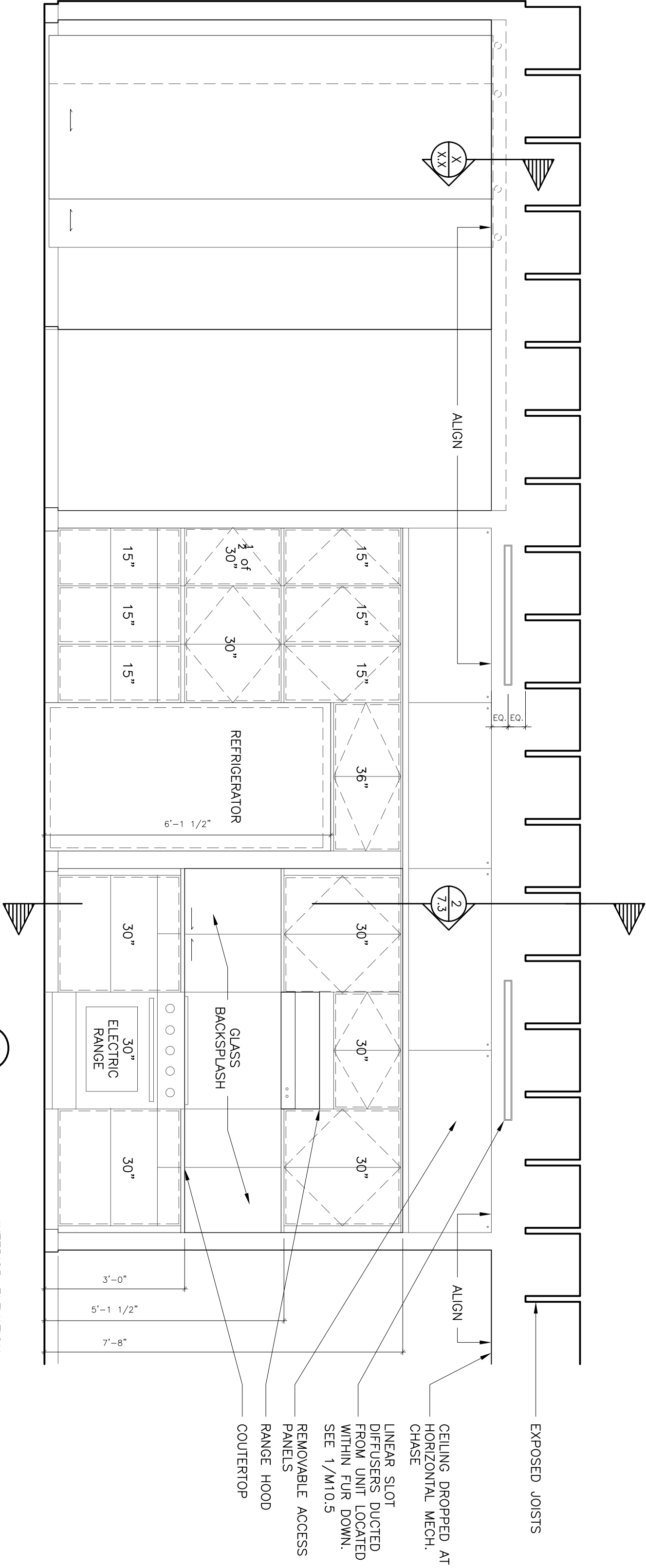
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drawn by:	mouton
	soniat
drawing title	INTERIOR ELEVATIONS
project	11008
sheet	8.1



4
 2.5 | 8.1
 INTERIOR ELEVATION
 1/2"=1'-0"



3
 2.5 | 8.1
 ISLAND SECTION
 1/2"=1'-0"



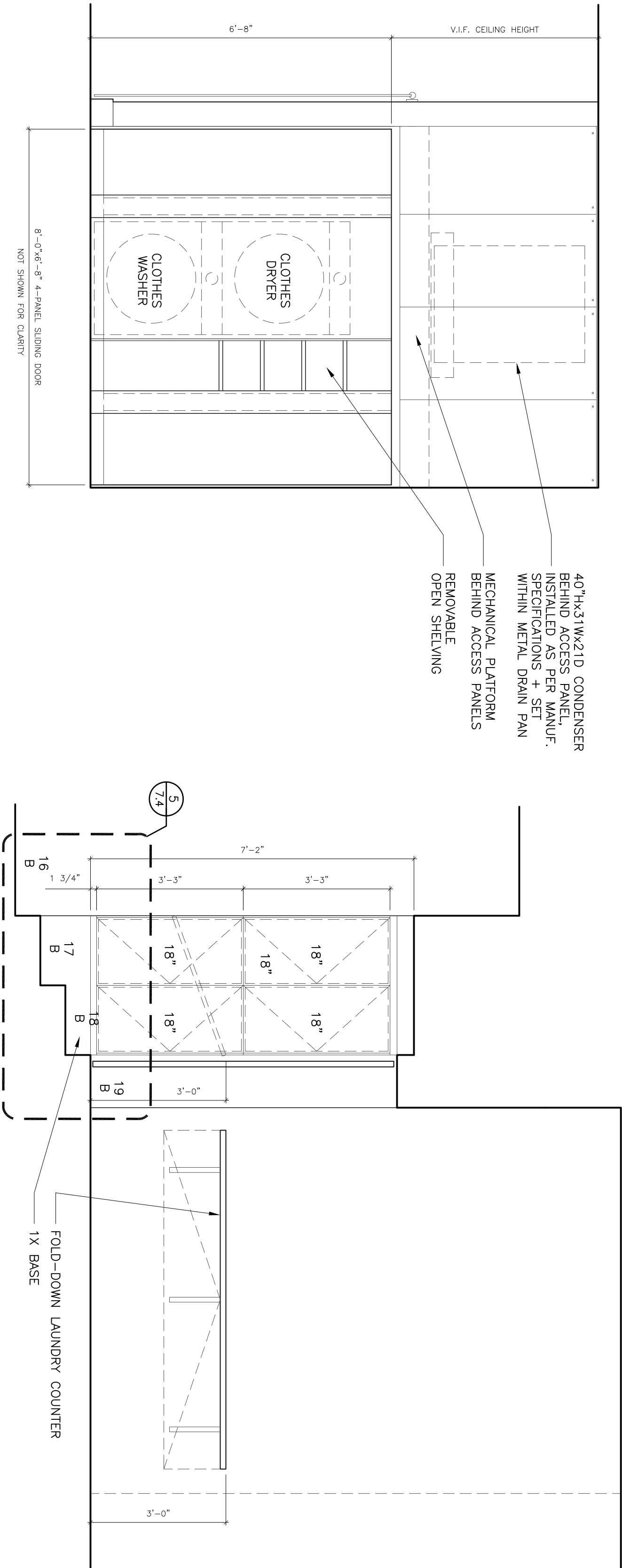
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 2.5 | 8.1
 INTERIOR ELEVATION
 1/2"=1'-0"

Grove Residence : Renovation

PERMIT SET



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drawing title	INTERIOR ELEVATIONS
project	11008
sheet	8.2

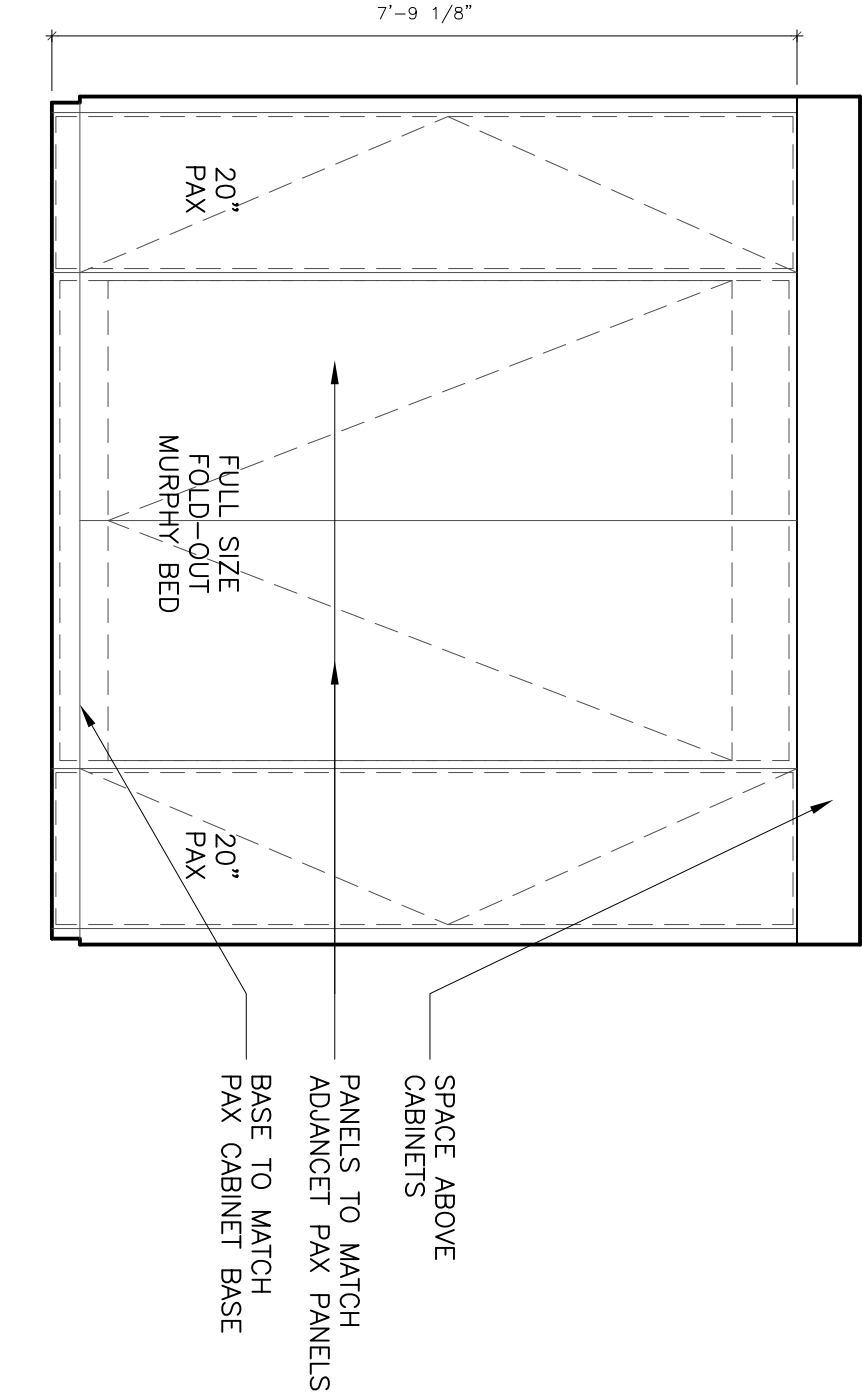


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2.6 | 8.2

INTERIOR ELEVATION

1/2"=1'-0"

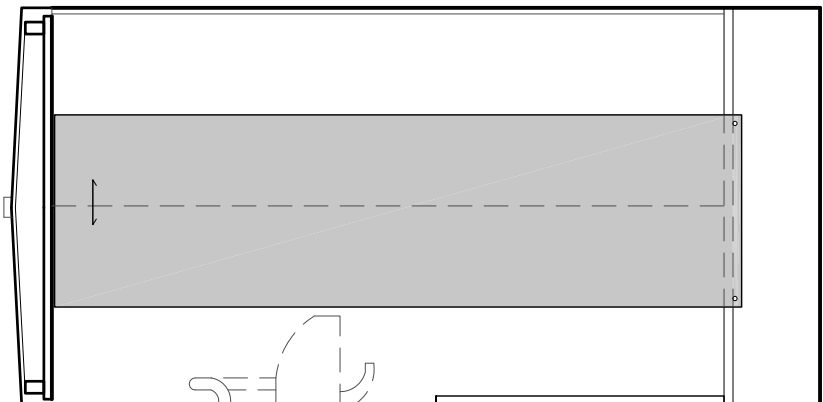


3

2.1 | 8.2

INTERIOR ELEVATION

1/2"=1'-0"

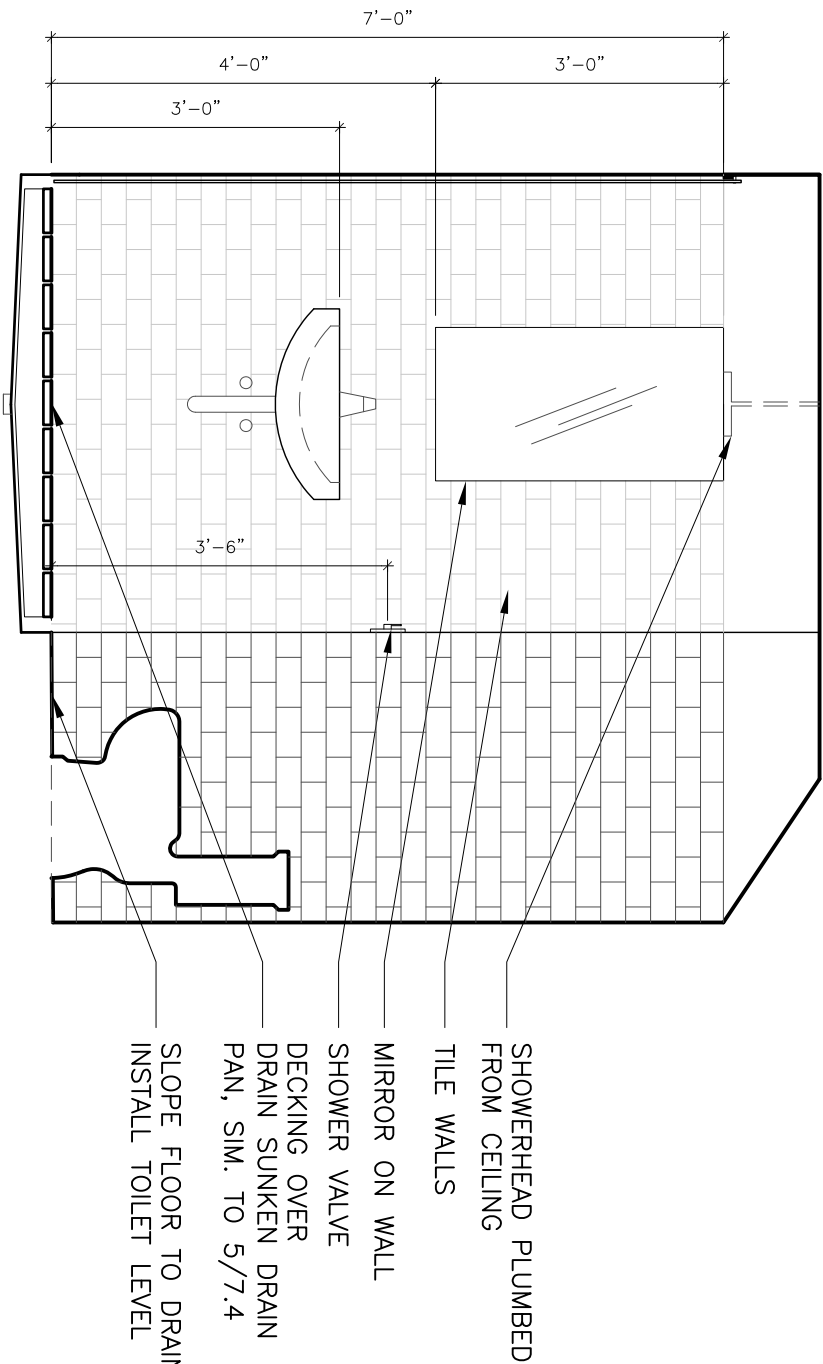


2

2.1 | 8.2

INTERIOR ELEVATION

1/2"=1'-0"



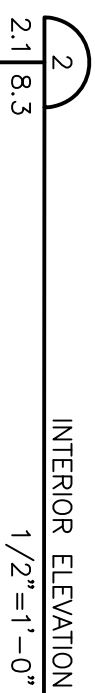
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2.5 | 8.2

INTERIOR ELEVATION

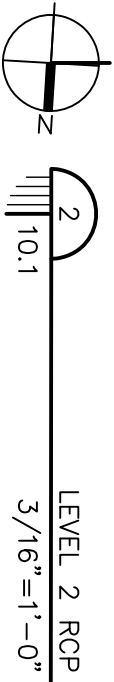
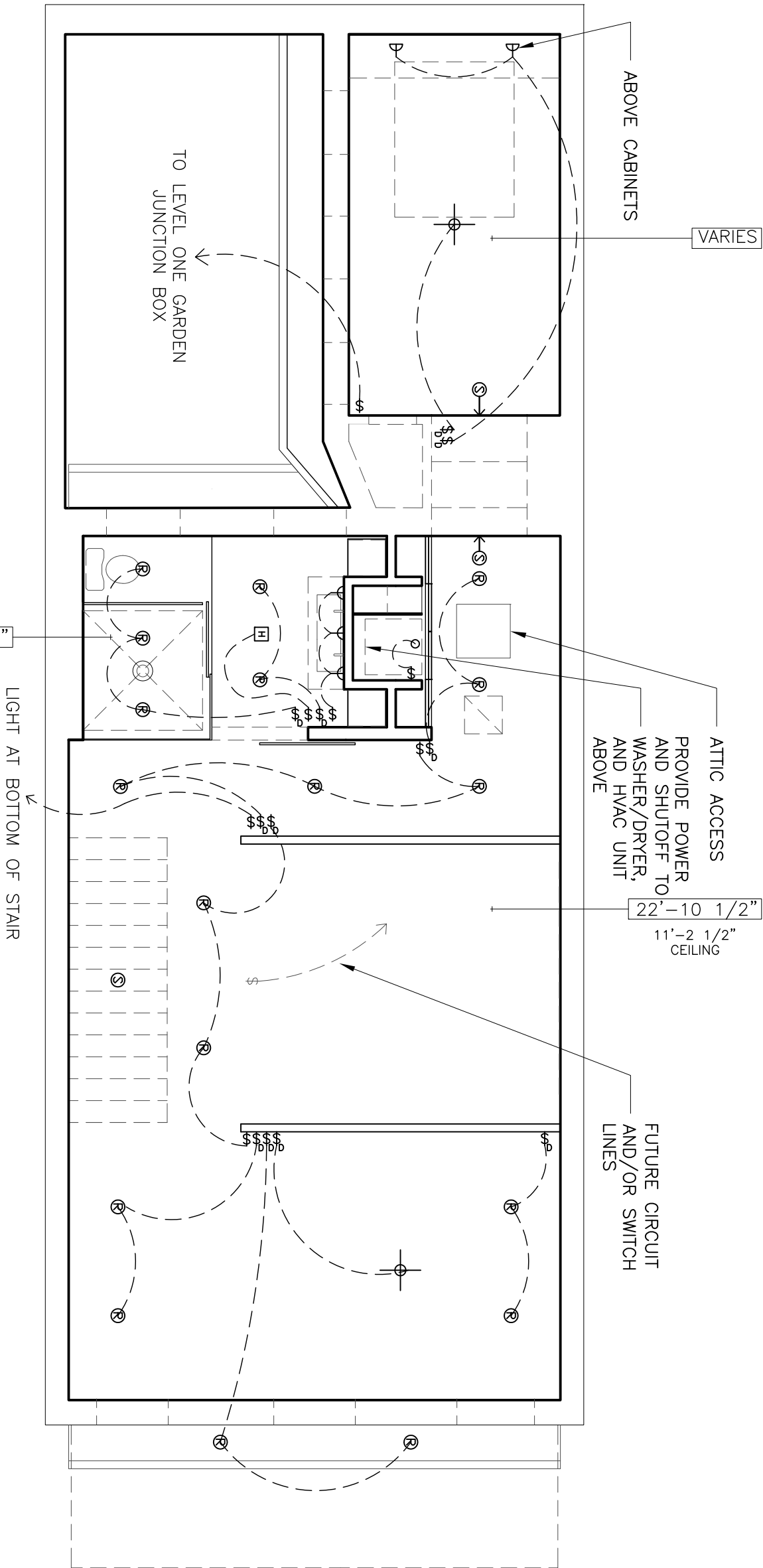
1/2"=1'-0"

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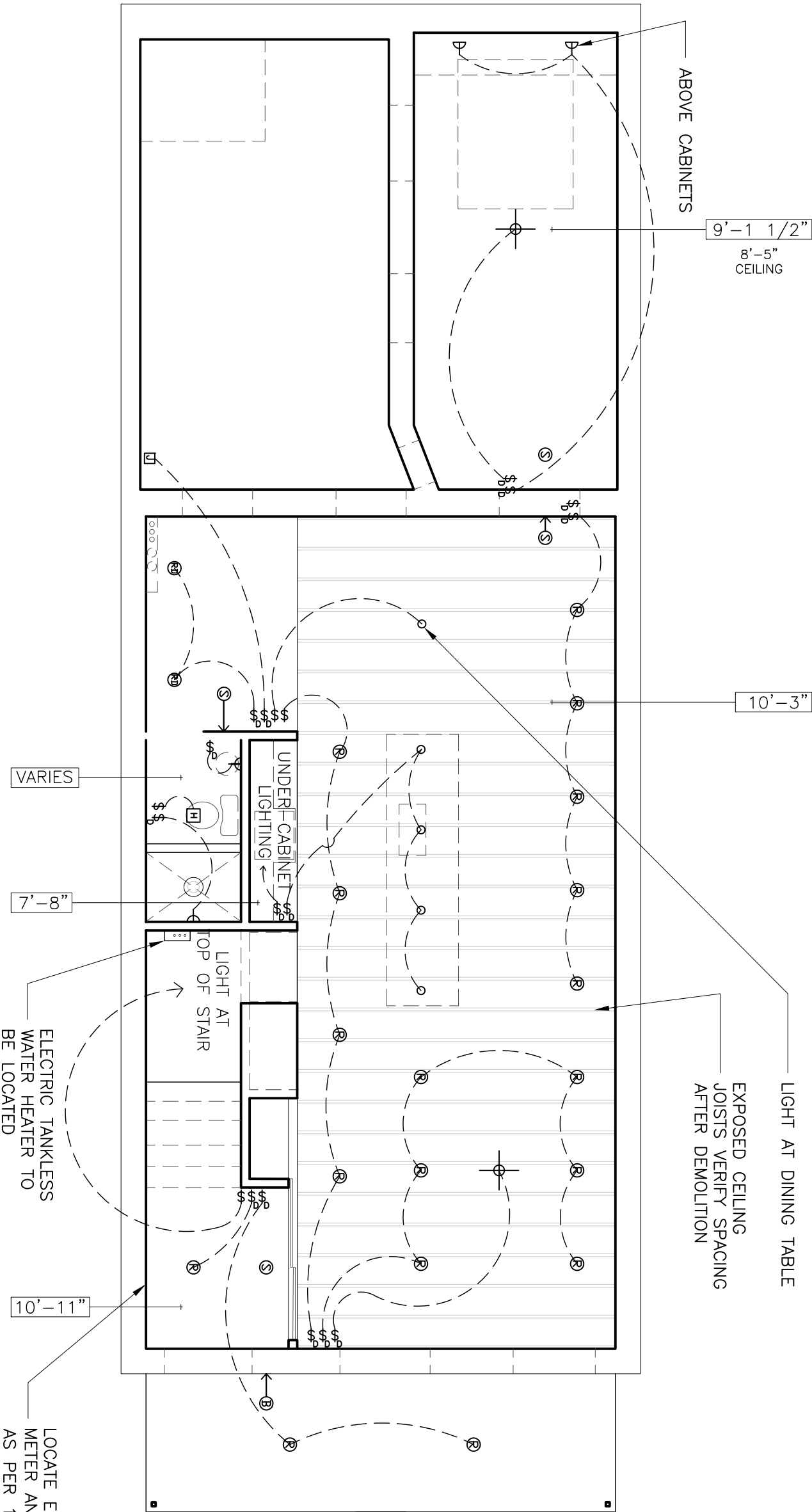
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	soniat
drawing title	
REFLECTED	
CEILING PLAN	
project	11008
sheet	



LIGHT AT DINING TABLE
EXPOSED CEILING
JOISTS VERIFY SPACING
AFTER DEMOLITION



GENERAL NOTES:
1. THESE DRAWINGS IDENTIFY THE QUANTITIES OF FIXTURES AND SWITCHES, ALONG WITH SCHEMATIC LOCATIONS. HOWEVER, UPON COMPLETION OF THE INTERIOR FRAMING, THE OWNER/ARCHITECT WILL LOCATE THOSE COMPONENTS IN THE FIELD. LIGHT FIXTURES TO BE SUPPLIED BY OWNER.

- \$ SWITCH
- \$ DIMMER SWITCH
- o CEILING MOUNTED JUNCTION
- D WALL MOUNTED SCNCE
- EXTERIOR FLOOD/ MOTION SENSOR
- 3-4" RECESSED FIXTURE
- 3-4" RECESSED FIXTURE
- DOOR BELL
- SMOKE DETECTOR
- CEILING MOUNTED BATHROOM VENT
- CEILING MOUNTED BATHROOM HEATER/VENT/LIGHT
- ELECTRIC WALL HEATER
- CEILING FAN
- CABLE LINE
- CAT 5 LINE / PHONE LINE
- WALL OUTLET AT HIGH ELEVATION ABOVE CABINETS TO BE GFI
- POWER CONNECTION/MECHANICAL
- WALL MOUNTED DUPLEX OUTLET (110)
- GROUND FAULT INDICATOR
- AT WET AREAS
- FLOOR OUTLET
- MOTION SENSOR
- OUTDOOR JUNCTION BOX (GARDEN LIGHTING)
- FLUORESCENT T5 OR T8

NOTES:

- ALL FIXTURE AND OUTLET LOCATIONS TO BE VERIFIED IN FIELD WITH ARCHITECT
- RANGE TO BE ELECTRIC
- WASHER/DRYER TO BE ELECTRIC
- IN ADDITION TO OUTLET LOCATIONS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, ELECTRICAL OUTLETS TO BE INSTALLED IN COMPLIANCE WITH LOCAL CODES
- SMOKE DETECTORS TO BE INSTALLED AS LOCAL CODE REQUIREMENTS.
- ELECTRICIAN TO LOCATE UNITS IN FILED WITH ARCHITECT AND OWNER
- TANKLESS WATER HEATER UNDER STAIR TO BE ELECTRIC
- TANK WATER HEATER TO BE ELECTRIC AND COORDINATED WITH SOLAR WATER HEATING SYSTEM AND LOCATED EITHER BELOW STAIR OR IN ATTIC. V.I.F.
- ALL LOW VOLTAGE WIRING SYSTEMS TO BE COORDINATED WITH OWNER/ARCHITECT AND SYSTEM PROVIDER

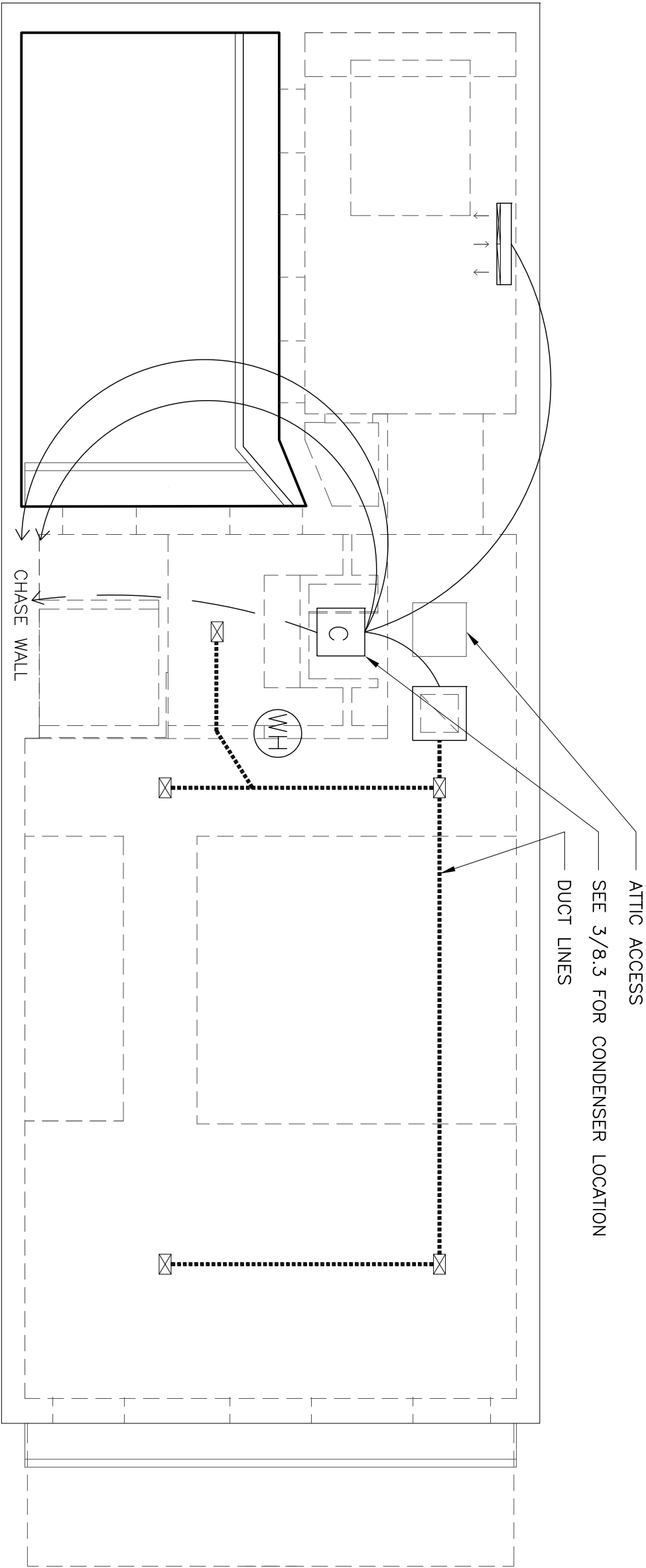
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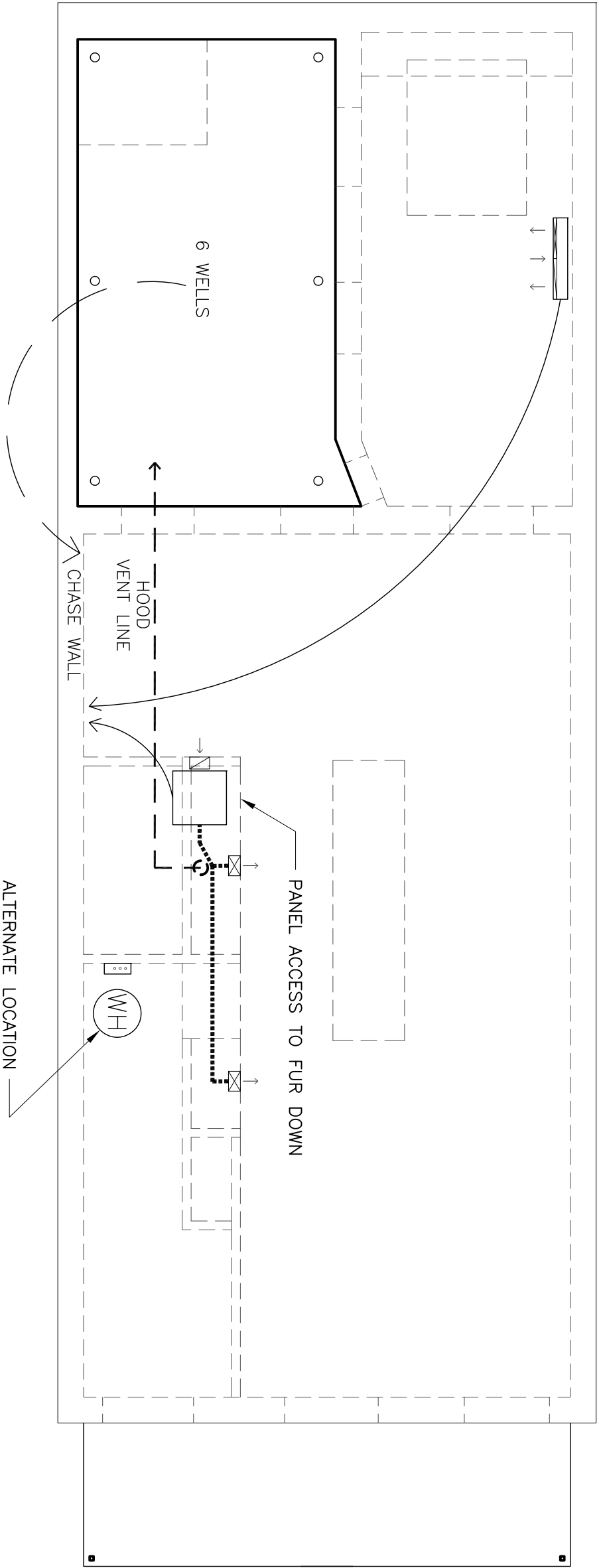


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	soniat
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MECHANICAL PLAN	
project	11008
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2
10.5
LEVEL 2 MECH. PLAN
3/16"=1'-0"

- LOW BOY TANK WATER HEATER TIED TO SOLAR SYSTEM
 - ON DEMAND ELECTRIC WATER HEATER
 - WALL MOUNTED RETURN AND SUPPLY AIR HANDELER
 - CONDENSER
 - RETURN DUCT
 - SUPPLY DUCT
- NOTES:
- SYSTEM ENGINEER TO SUPPLY SHOP DRAWINGS TO ARCHITECT AND OWNER BEFORE INSTALLATION
 - TANKLESS WATER HEATER TO SERVICE LEVEL 1 PLUMBING CORE
 - SOLAR WATER HEATING SYSTEM TO SERVICE LEVEL 2 PLUMBING CORE



1
10.5
LEVEL 1 MECH. PLAN
3/16"=1'-0"